

DESIGN GUIDELINES

CITY OF JOHNSTOWN, OHIO

May 2026



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1 | INTRODUCTION

- » HOW TO USE
- » PURPOSE
- » APPLICABILITY





1 | INTRODUCTION

SEC 1.1 | HOW TO USE THIS DOCUMENT

This document provides design guidance for new construction and alterations / renovations throughout Johnstown. This document should be used in conjunction with the Comprehensive Plan and Codified Ordinances to review development proposals.

SEC 1.2 | PURPOSE

This document provides design guidance for new construction and alterations / renovations. This document is intended to provide a clear picture of the design quality expected for new construction or renovations. These design guidelines are further intended to fulfill the goals of the Johnstown Comprehensive Plan by creating a consistent, quality aesthetic throughout the community. The guidelines contained in this document are intended to be applied to all development as established within the applicable design review districts. These guidelines are further intended to implement and enforce the growing expectation of quality and consistency by the residents of Johnstown.

SEC 1.3 | REFERENCE DOCUMENTS

These design guidelines serve as only one part of the regulatory documents that help shape the built environment of Johnstown. Reference documents that offer more detail in specific areas of the city include:

- [Johnstown Comprehensive Plan \(2024\)](#)
- [Active Transportation Plan \(2021\)](#)
- [Johnstown Codified Ordinances \(updated regularly\)](#)

SEC 1.4 | DESIGN REVIEW ADMINISTRATION

This document is enabled by reference by [Chapter 1187 - Design Review Administration and Regulations](#) of the City's Codified Ordinances. The sections of Chapter 1187 referenced below further explain the role of the Design Review Board, Submission Requirements, Procedures, and Review Criteria:

CH 1187.01 | Purpose

CH 1187.02 | Definitions

CH 1187.03 | District Boundaries

CH 1187.04 | Review and Approval Authority

CH 1187.05 | COA Required

CH 1187.06 | COA Submittal Requirements

CH 1187.07 | Procedure for Obtaining a COA

CH 1187.08 | Criteria for Evaluation for COA

CH 1187.09 | Demolition of Structures

CH 1187.10 | Maintenance

CH 1187.11 | Amendments to Approved COA

CH 1187.12 | Appeals

CH 1187.13 | Application for Appeals

CH 1187.14 | Public Hearing and Notice for Appeals

SEC 1.5 | **CODIFIED ORDINANCES**

All development must abide by the regulations established in the City's Codified Ordinances. Applicable zoning districts are listed throughout this document. The guidelines in this document do not supersede the requirements within the Codified Ordinances. This document should be used together with the Codified Ordinances to produce the form and type of development desired by the City. Common Codified Ordinance chapter references are linked below:

[CH 1142 | Rural Residential \(RR\)](#)

[CH 1143 | Suburban Residential \(SR-1\)](#)

[CH 1145 | Suburban Residential \(SR-2\)](#)

[CH 1147 | Urban Residential Low Density \(UR-1\)](#)

[CH 1149 | Urban Residential Moderate Density \(UR-2\)](#)

[CH 1151 | Multiple-Family Residential \(AR-1\)](#)

[CH 1155 | General Community Commercial \(GCC-1\)](#)

[CH 1157 | General Community Commercial \(GCC-2\)](#)

[CH 1159 | Light Manufacturing \(LM\)](#)

[CH 1167 | Village Center \(VC\)](#)

[CH 1169 | Village Commercial \(VILCOM\)](#)

[CH 1171 | Supplementary District Regulations](#)

[CH 1175 | Off-Street Parking and Loading Facilities](#)

[CH 1177 | Signs](#)

[CH 1183 | Landscaping](#)

[CH 1185 | Fences](#)

[CH 1187 | Design Review](#)

2 | THE JOHNSTOWN PERSPECTIVE

- » COMPOSITION
- » COMMUNITY IDENTITY
- » ELEMENTS TO AVOID





2.1 | COMPOSITION MATTERS

CREATING INVITING ENVIRONMENTS

Great places are made when buildings, streetscape, and land uses are all carefully considered. Key placemaking elements include Use & Form, Orientation & Scale, Walkability & Transparency, Site & Building Details, and Access & Parking.

Elements of existing development within downtown that reflect the desired character are illustrated below and to the right.

- 1. USE & FORM** - A mix of uses including retail, restaurant, office, and residential are supported in two-floor buildings. This desired form should be included in future development.
- 2. ORIENTATION & SCALE** - Front doors open to the sidewalk and are highly detailed. Doors repeat at a cadence that is easily walkable and pedestrian scaled.
- 3. WALKABILITY & TRANSPARENCY** - Sidewalks are present on both sides of the street and connect pedestrians from parking areas to front doors. First floors of buildings feature large windows.
- 4. SITE & BUILDING DETAILS** - Inclusion of decorative street lighting, landscaping, and public open space create a welcoming environment for pedestrians.
- 5. ACCESS & PARKING** - Buildings are designed to be accessed from the sidewalk with parking located on-street and in shared lots behind buildings.

FIG 2.1 | EXAMPLE STREET COMPOSITION - PLAN VIEW



2.2 | COMMUNITY IDENTITY

WHAT MAKES JOHNSTOWN, JOHNSTOWN?

Throughout the development of planning documents by Johnstown, one thing remains clear: **residents desire to protect and enhance the small-town charm of the city.** Utilization of natural materials, accent details, and thoughtful site design is key to achieving these goals.

The design elements that reflect the desired character for new development or alterations within Johnstown are illustrated below and to the right.

- 1. USE & FORM** - Historic buildings that support a variety of uses. Buildings are generally built to the property boundaries, often featuring shared walls.
- 2. ORIENTATION & SCALE** - Buildings are generally two floors with some single floor buildings. Front doors open to sidewalks adjacent to the facades of buildings.
- 3. WALKABILITY & TRANSPARENCY** - Large first-floor windows allow pedestrians to see into adjacent businesses. Windows repeat at a cadence that is reflective of walkable, active street.
- 4. SITE & BUILDING DETAILS** - Awnings, stone accents, and cornice / parapet detailing add visual interest and add to the overall quality of a building. Details are present on the street-facing facades.
- 5. ACCESS & PARKING** - Buildings feature front doors along the sidewalk and rear entries for employees and deliveries. On-street parking spaces are conveniently located and provide buffer from traffic.

FIG 2.3 | DOWNTOWN EXAMPLE - STREET VIEW



Image Credit: MKSK

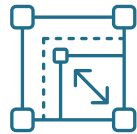
FIG 2.4 | RESIDENTIAL EXAMPLE - STREET VIEW



Image Credit: MKSK



**Use
& Form**



**Orientation
& Scale**



**Walkability &
Transparency**



**Site &
Building
Details**



**Access &
Parking**

While not every home in Johnstown will be the size and scale of the example above, the elements demonstrated in this example should be aspired to for all new residential development within Johnstown. Well-defined entrances are complemented with front porches. Homes are scaled (height, width, massing) appropriately for their lot size. These considerations are meant provide clear connections between streets and homes, and to minimize the dominance of driveways, garage doors, and parked vehicles in existing residential development patterns.

2.3 | ELEMENTS TO AVOID

CREATING THE DESIRED ENVIRONMENT

The elements illustrated on these pages have been identified as being undesirable in future development. The existing pattern of multiple curb-cuts, disjointed sidewalks, and lacking streetscape and site landscaping create an automobile-oriented environment that is not desired.

Elements of existing development within Johnstown that are undesired and should be avoided are described below and illustrated below and to the right.

- 1. USE & FORM** - A single type of use (commercial retail and services) dominates. Little consistency between building form exists, and architecture often resembles corporate standards.
- 2. ORIENTATION & SCALE** - Buildings have large setbacks and are surrounded by parking areas. Buildings are scaled to accommodate the function of the building, not the context of the street.
- 3. WALKABILITY & TRANSPARENCY** - Sidewalks are intermittent along streets. Lack of street intersections limits walkability. Buildings often feature few windows.
- 4. SITE & BUILDING DETAILS** - Site and building detailing vary from site-to-site. Site landscaping is present in recently developed parcels, but buildings generally lack unique or defining details.
- 5. ACCESS & PARKING** - Numerous curb-cuts and individual parking lots provide vehicular access. Pedestrian access routes are limited or absent on most properties. Multiple doors provide access to buildings.

FIG 2.5 | DEVELOPMENT ELEMENTS TO AVOID - PLAN VIEW

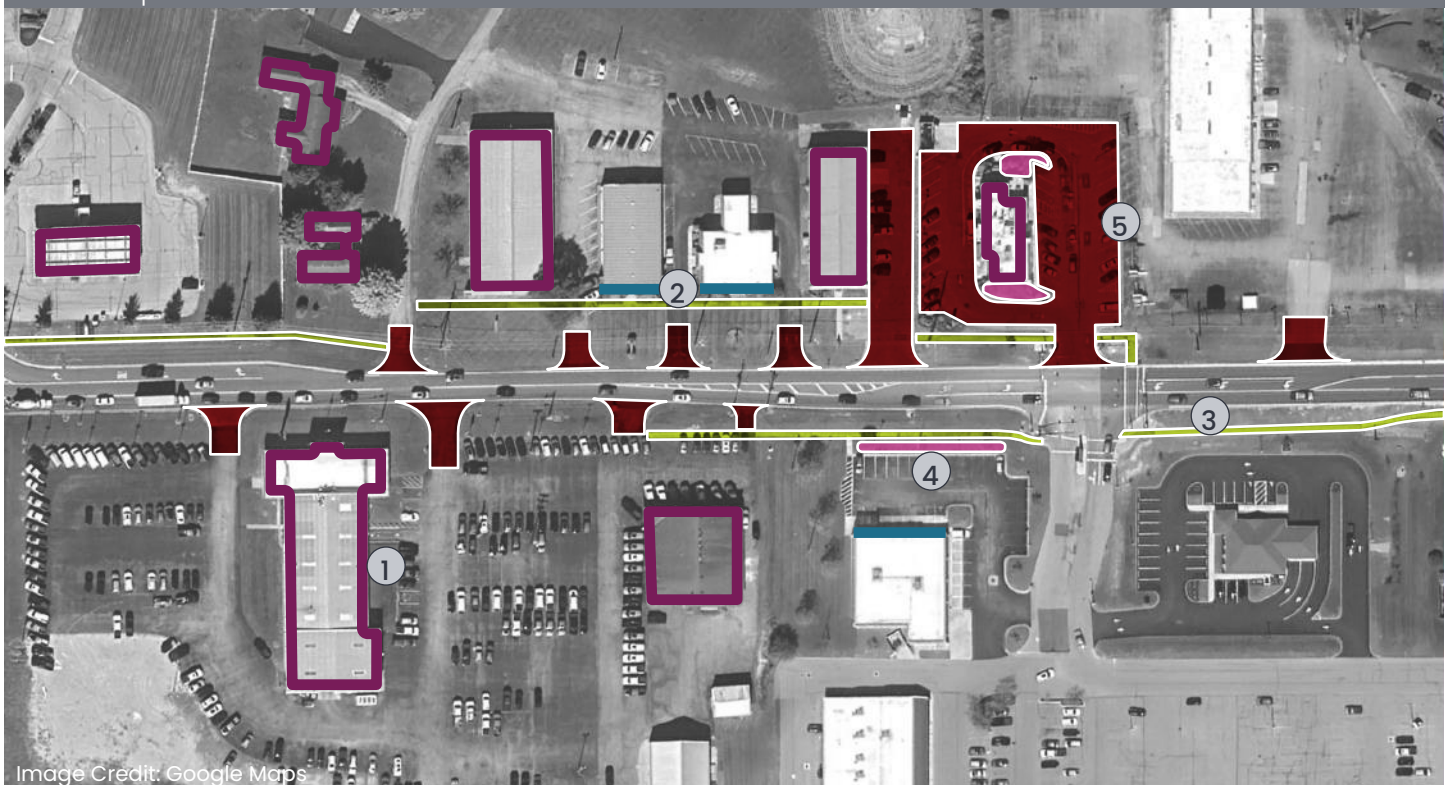


Image Credit: Google Maps

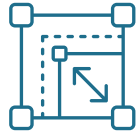
FIG 2.6 | DEVELOPMENT ELEMENTS TO AVOID - STREET VIEW



Image Credit: Google Maps



**Use
& Form**



**Orientation
& Scale**



**Walkability &
Transparency**



**Site &
Building
Details**



**Access &
Parking**

The view from the street above represents a condition the city should avoid recreating as infill and redevelopment occurs. The lack of street trees, inconsistent sidewalks, limited street network, and large building setbacks create an environment of “anywhere USA” as opposed to the small-town charm of Johnstown. As opportunities arise during roadway improvement projects, redevelopment, or infill projects, reducing the undesirable elements will allow the city to achieve the goals of maintaining the small-town scale and character of the city, in addition to balancing pedestrian and vehicular access.

3 | DESIGN REVIEW DISTRICTS

- » HISTORIC DOWNTOWN
- » COMMERCE CORRIDOR
- » NEIGHBORHOODS
- » INDUSTRIAL





3 | DESIGN REVIEW DISTRICTS

DESIGN REVIEW DISTRICTS ESTABLISHED

The city is comprised of four review districts. The purpose of these individual districts is to respond to the growth goals of Johnstown, acknowledge primary existing uses, and guide development within these established districts. Please see the corresponding sections for further explanation of the design guidelines for each respective area.

SEC 3.1 | **HISTORIC DOWNTOWN (HD)**

Within the historic core of Johnstown, the Historic Downtown district focuses on preserving the existing character of Main Street and surrounding residential streets. Within this district there are two sub-districts (commercial / mixed-use and residential) and signature streets. Sites along identified Signature Streets will be subject to additional scrutiny during review, and extra attention to detail is expected during repair, renovation, or new construction. While there are no additional standards for these streets, the standards in place should be exemplified by any site alterations.

SEC 3.2 | **COMMERCE CORRIDOR (CC)**

Focusing on infill and redevelopment, the Commerce Corridor district intends to create more pedestrian-friendly places within Johnstown. Developments in this district should balance access for both pedestrians and automobiles. Design guidelines for this district aim to accommodate a mix of uses, create buildings that add to the streetscape, and establish guidance for parking locations and screening.

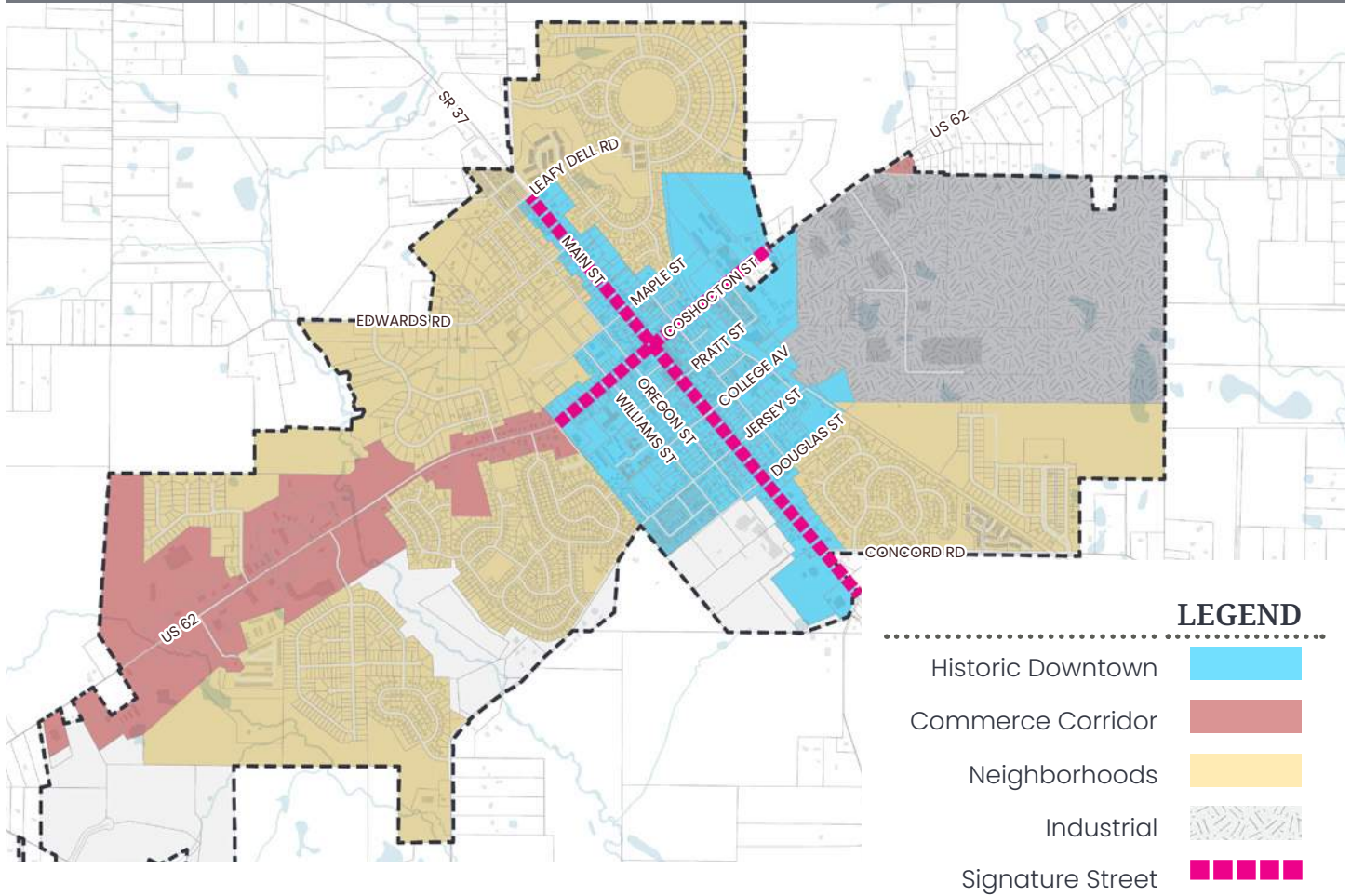
SEC 3.3 | **NEIGHBORHOODS (NH)**

Ensuring new development and infill of lots meet the aesthetic goals of Johnstown, the Neighborhood district provides guidance to the development of new residential subdivisions, the infill of existing lots, and alterations / additions to existing residences. The guidelines focus on preservation of community aesthetics and creating neighborhoods that add to the character of Johnstown.

SEC 3.4 | **INDUSTRIAL (IN)**

Desiring aesthetic improvements in all areas of the city, the Industrial district establishes baseline aesthetic requirements within the Codified Ordinances. Differing from the guidelines in this document, these standards have been adopted in the City's Codified Ordinances within the Light Manufacturing (LM) zoning district in [Chapter 1159.04 - LM District Development and Aesthetic Standards](#).

FIG 3 | JOHNSTOWN DESIGN REVIEW DISTRICT MAP

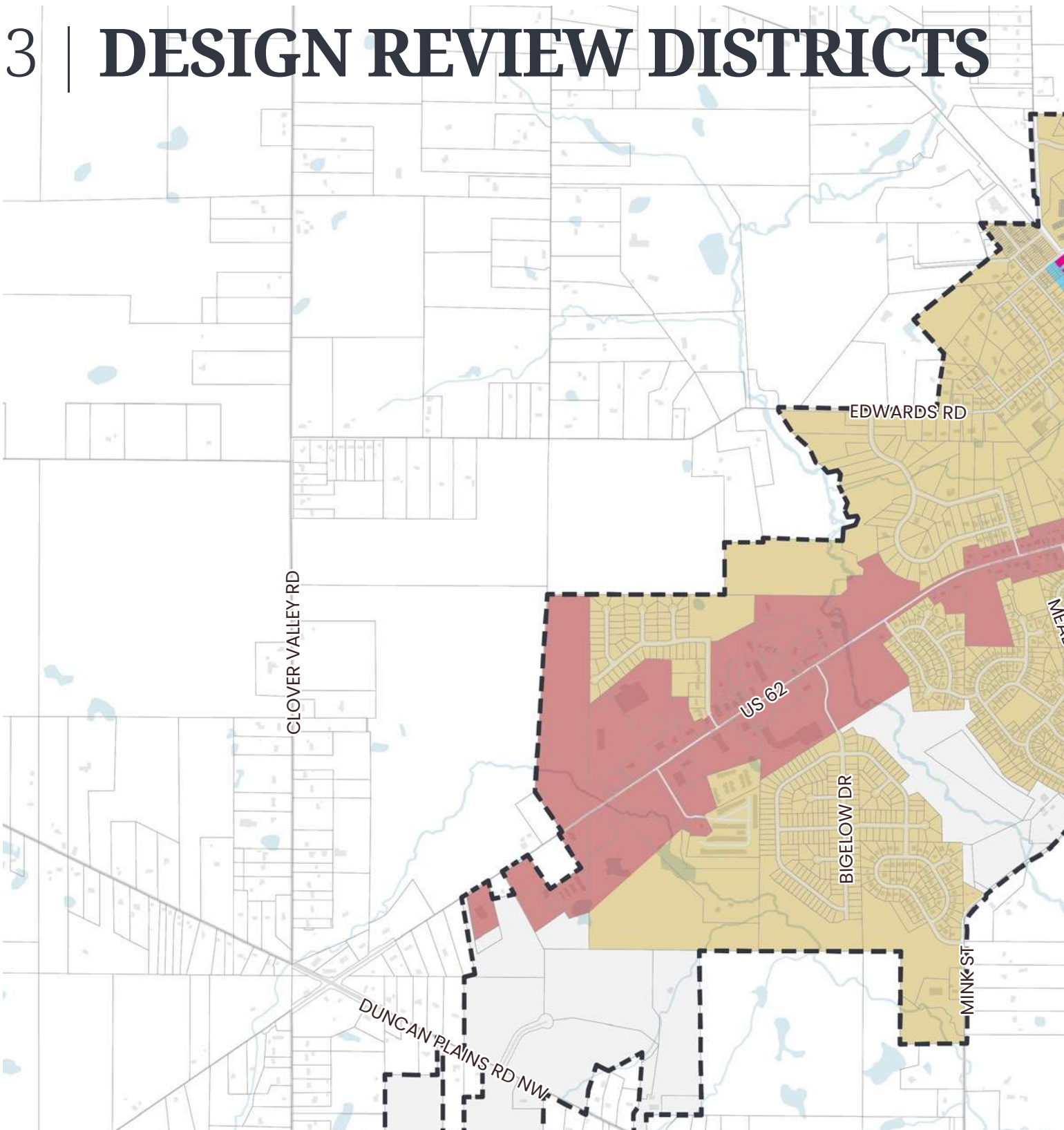


NOTE | UNDERLYING ZONING DISTRICTS

The illustrated design review districts cover most of the parcels within Johnstown. The zoning districts below should also be consulted when reviewing a proposed site development or alteration. The following zoning districts are influenced by these design guidelines:

Codified Ordinance & Zoning District	Design Review District(s)
CH 1143 Suburban Residential (SR-1)	(HD), (CC), (NH)
CH 1147 Urban Residential Low Density (UR-1)	(HD), (CC), (NH)
CH 1149 Urban Residential Moderate Density (UR-2)	(HD), (NH)
CH 1151 Multiple-Family Residential (AR-1)	(HD), (CC), (NH)
CH 1155 General Community Commercial (GCC-1)	(HD), (CC), (NH)
CH 1157 General Community Commercial (GCC-2)	(HD)
CH 1159 Light Manufacturing (LM)	(HD), (CC), (IN)
CH 1167 Village Center (VC)	(HD), (NH)
CH 1169 Village Commercial (VIL COM)	(HD)

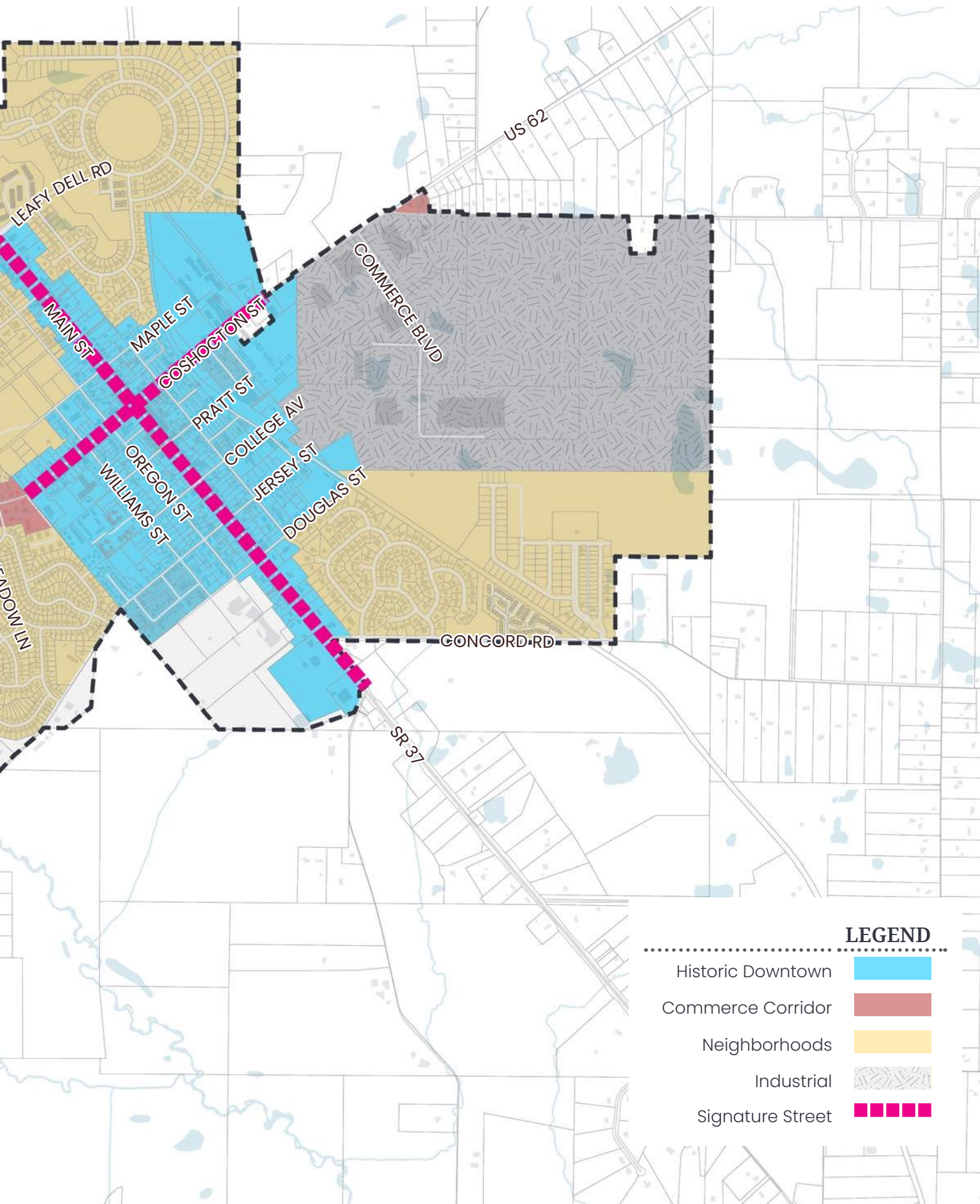
3 | DESIGN REVIEW DISTRICTS



NOTE | SIGNATURE STREETS

Signature streets should exemplify the standards contained in this document. Additional scrutiny will be applied to sites adjacent to these streets during reviews by the Design Review Board. No additional standards are applicable to sites along signature streets.

FIG 3 | JOHNSTOWN DESIGN REVIEW DISTRICT MAP



LEGEND

- Historic Downtown
- Commerce Corridor
- Neighborhoods
- Industrial
- Signature Street

3.1 | HISTORIC DOWNTOWN

- » COMMERCIAL / MIXED – USE
- » RESIDENTIAL





3.1 | HISTORIC DOWNTOWN

COMMERCIAL / MIXED-USE & RESIDENTIAL

Throughout the development of these guidelines, the clear consensus is the residents of Johnstown expect quality, timeless design within the community. Utilization of enduring materials, accent detailing, and thoughtful site layout is key to achieving these goals.

In addition to these guidelines, the underlying zoning districts that regulate uses and general site standards for parcels within the Historic Downtown district—setbacks, lot coverage, minimum lot area, and more—are listed below. These zoning districts are established in Title Five of the Johnstown Codified Ordinances and should be referenced during reviews by the DRB.

Ch 1143 | Suburban Residential (SR-1)

Ch 1155 | General Community Commercial (GCC-1)

Ch 1147 | Urban Residential Low Density (UR-1)

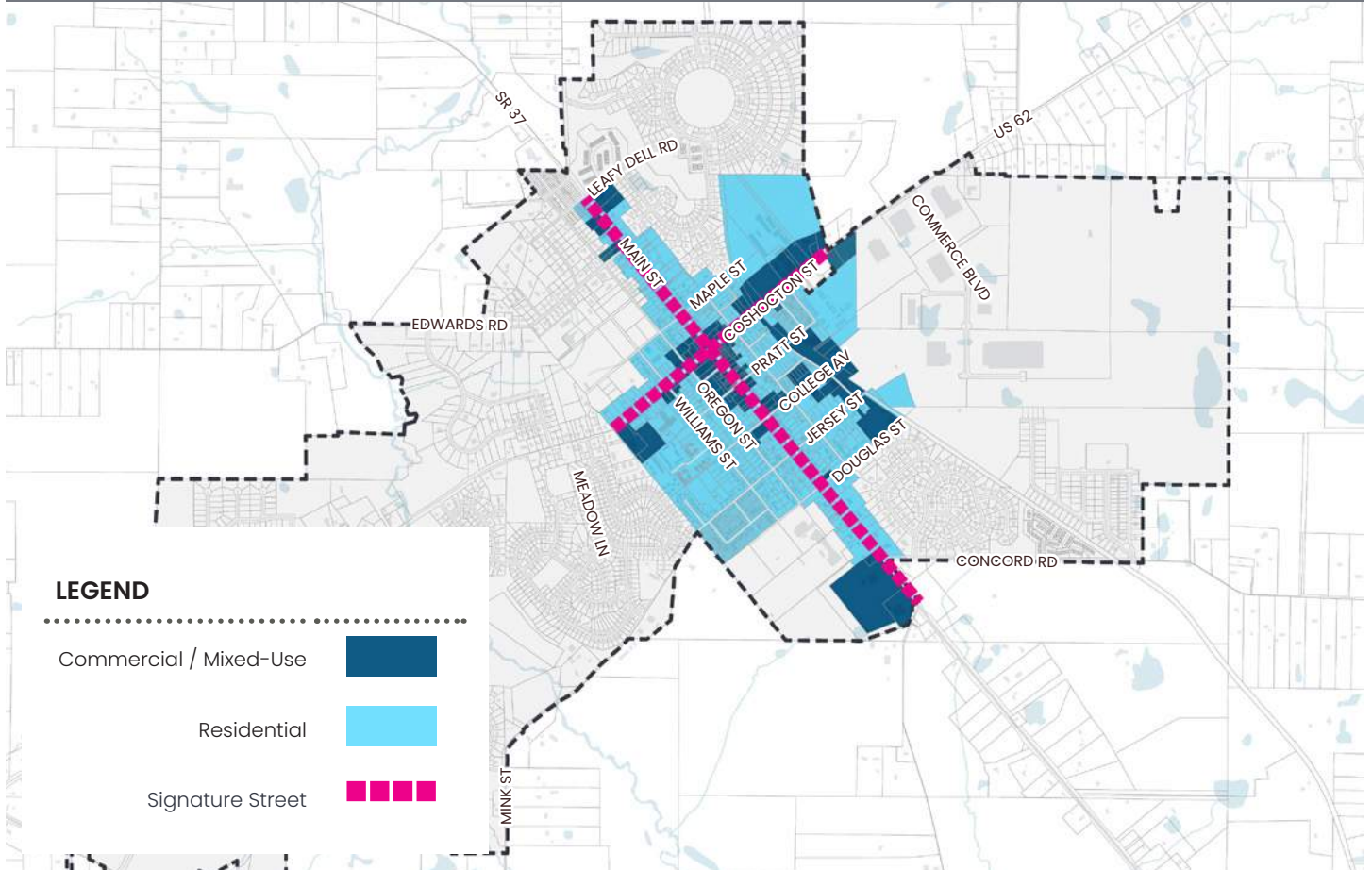
Ch 1159 | Light Manufacturing (LM)

Ch 1149 | Urban Residential Moderate Density (UR-2)

Ch 1167 | Village Center (VC)

Ch 1151 | Multiple-Family Residential (AR-1)

FIG 3.1 | HISTORIC DOWNTOWN DESIGN DISTRICT MAP



SEC 3.1.1 | COMMERCIAL / MIXED-USE SITES

Sites used for commercial / mixed-use are concentrated along Main Street. This reflects the historic development pattern of Johnstown with Main Street being the center of commerce. Additional areas included in this subdistrict include frontage along Coshocton Street and along Track Street. **New construction must use overall design, materials, and accent detailing that complement the existing buildings within the Downtown Core. Alterations to existing structures should preserve and restore original features to the greatest extent possible.** The following pages establish the design guidelines related to Commercial / Mixed-Use sites within the Downtown Core.



SEC 3.1.2 | RESIDENTIAL SITES

Reflecting some of the oldest residences in Johnstown, the residential sites within the Downtown Core are to be preserved and enhanced as feasible. The guidelines on the following pages establish overall guidance to preserve and enhance the existing character of residential sites within the Downtown Core. The focus of these guidelines is to **preserve the existing historic / unique features of the homes within the district, and to ensure that any new infill or alterations to existing structures match in style, quality, and materiality** in a way that complements the district.



3.1.1 | COMMERCIAL / MIXED-USE (CMU) SITES

SEC 3.1.1.1 | HISTORIC DOWNTOWN CMU SITE COMPOSITION

As noted in Sec 2.1, thoughtful site composition is key to maintaining the comfortable pedestrian scale that exists in downtown Johnstown. The site elements below should be included as renovation or new construction occurs within commercial / mixed-use sites identified in Figure 3.1 | Downtown Core Design District Map. General guidelines for site composition elements are below.



1. USE & FORM | THOUGHTFUL MIX OF USES IN A WALKABLE SETTING

- Support multiple uses - Development should accommodate a variety of uses including dining, shopping, offices, and residences.
- Urban buildings - Buildings should be designed to fit in an urban setting with prominent primary entries, contain multiple floors, and be designed to accommodate varying uses over time. Corporate defined architecture should be avoided.



2. ORIENTATION & SCALE | ADDRESS THE STREET AT A COMFORTABLE HEIGHT

- Buildings front the street - The ground floor and front door of new or renovated buildings should be adjacent to the sidewalk. Public entrances should be along the front, with service and delivery access provided from rear or shared loading areas.
- Maintain pedestrian scale - Two floor buildings are preferred. The goal is to maintain a comfortable pedestrian scale within downtown.



3. WALKABILITY & TRANSPARENCY | ENCOURAGING WALKING AND ACTIVE STREETS

- Support pedestrians - Provide sidewalks where not present. Where possible, include outdoor dining areas and public seating as appropriate.
- Transparency - First floors should include large windows. Second floor windows should reflect the scale and design of the building and repeat at a cadence that accents the first floor styling and detailing.



4. SITE & BUILDING DETAILS | CREATE QUALITY, ENDURING BUILDINGS

- Exhibit quality - New development and renovations should focus details and architectural features along the street. This includes using materials and colors to accent windows, doors, parapets, and awnings along the sidewalk.
- Embrace identity - All new buildings should embrace the established character of downtown, and reflect the materials, details, and accents of existing buildings.



5. ACCESS & PARKING | PRIORITIZE PEDESTRIANS, ACCOMMODATE AUTOMOBILES

- On-street convenience - Support the continued use of on-street parking to meet demand and provide a buffer between drive lanes and sidewalks.
- Shared lots - Utilize shared parking to reduce the need for curb cuts.
- Pedestrian amenities - Encourage site lighting, especially along sidewalks and pedestrian crossings, and site design that minimizes vehicular and pedestrian crossings.

FIG 3.1.1.1 | HISTORIC DOWNTOWN (HD) CMU SITES - COMPOSITION BIRDSEYE VIEW

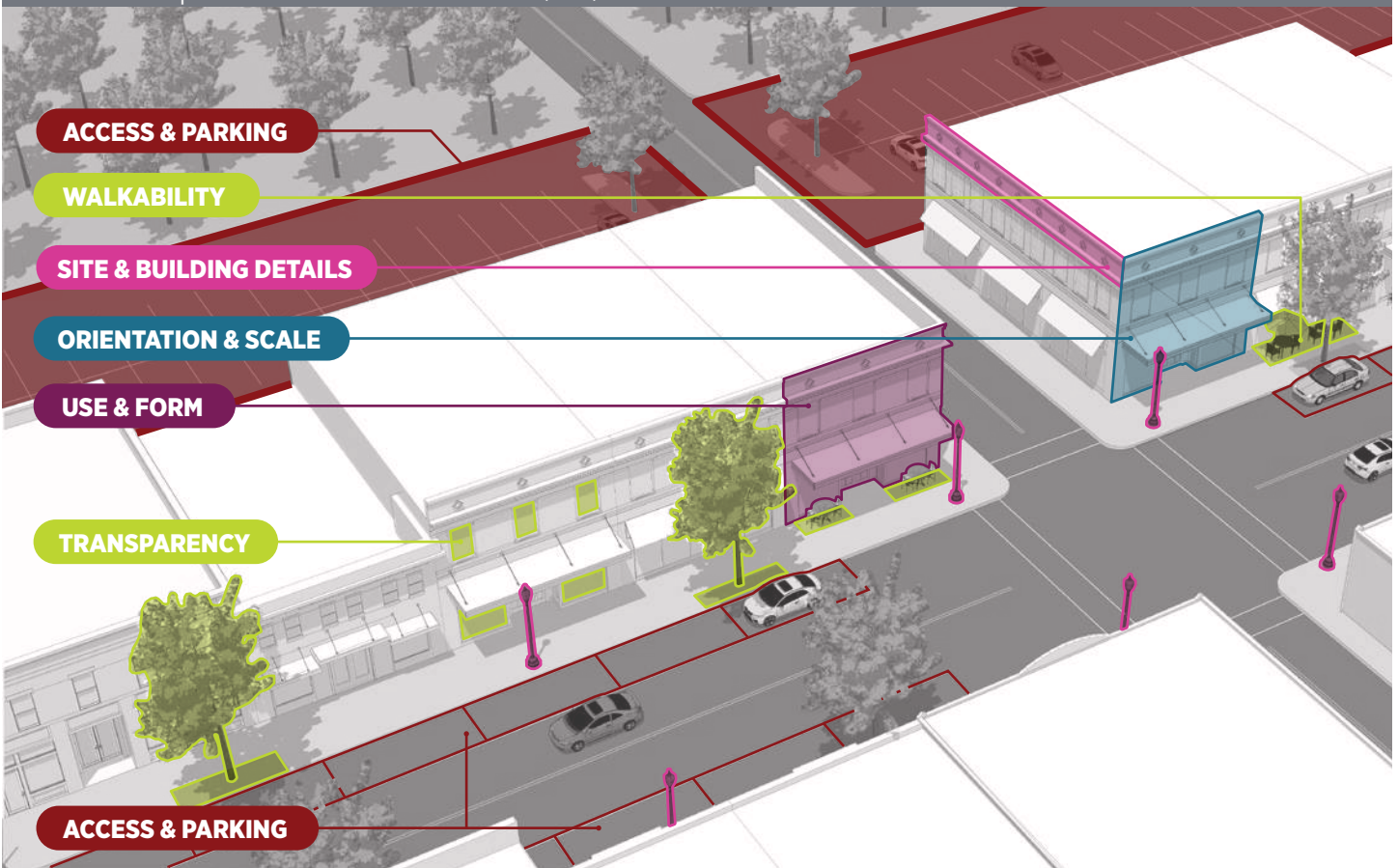
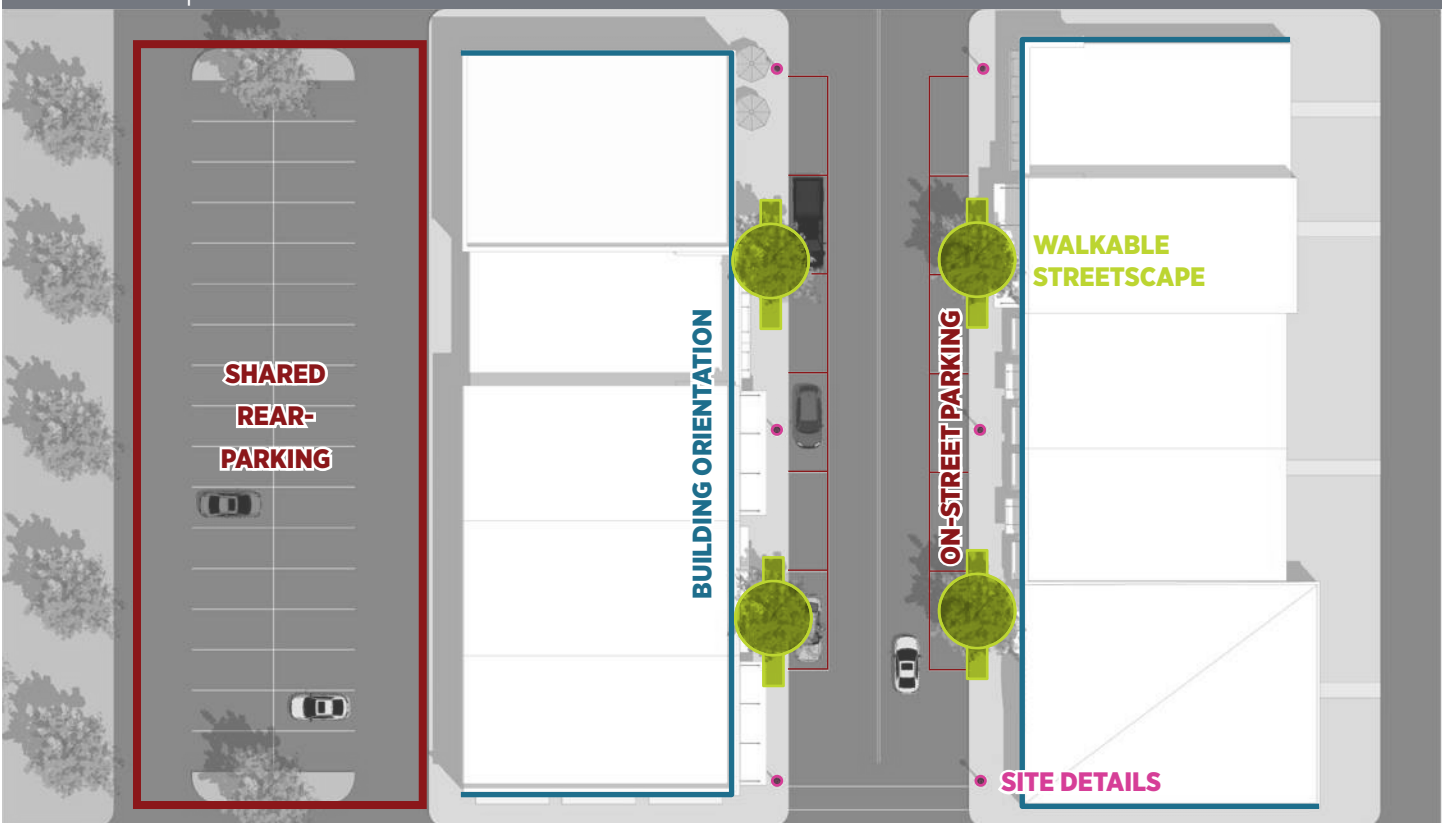


FIG 3.1.1.2 | HD CMU SITES - COMPOSITION PLAN VIEW



SEC 3.1.1.2 | HISTORIC DOWNTOWN CMU SCALE

The scale of any new buildings should be similar to existing structures. Within downtown, the scale is reflective of the historic nature of the oldest buildings in the city. Buildings are generally two floors, the one exception being the Johnstown Opera House which has three floors. The photos at the bottom of the page provide reference to what is an appropriate scale within the Downtown CMU subdistrict. Downtown CMU scale-related guidelines are below:

- Maintaining a pedestrian scale is a primary focus of this district. Within Johnstown, this scale reflects two to three floor buildings within the CMU district.
- The preference for all new construction is no more than two floors along Main Street.
- Any building proposed along Main Street which is higher than two floors should incorporate additional building detailing and streetscape enhancements as it will be a signature building within the CMU district.
- Three floor buildings may be utilized along Track Street to infill a mix of residential and commercial uses, but should be arranged in a holistic way to extend the J.T. Evans Bike Path to connect to Pratt Street.

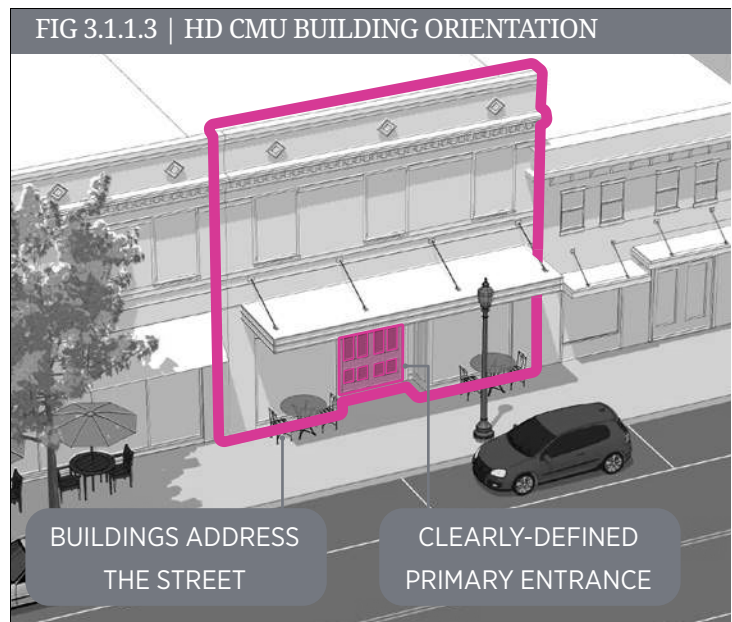
FIG 3.1.1.2 | HD CMU SITES - APPROPRIATE SCALE



SEC 3.1.1.3 | HISTORIC DOWNTOWN CMU BUILDING ORIENTATION

Building orientation defines how people interact with the site and building. CMU building orientation guidelines are below:

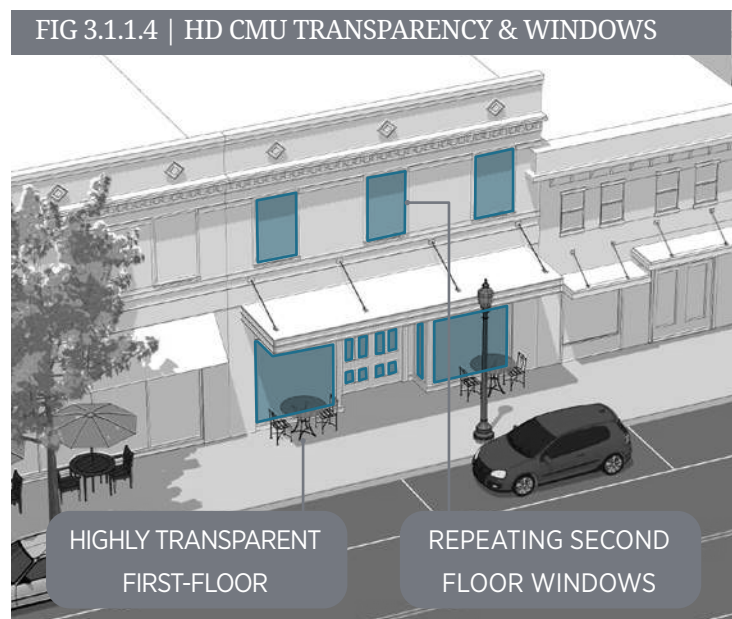
- Buildings should be oriented to place the front of the building adjacent to the sidewalk / street.
- Buildings located on a corner of two streets may provide a corner entrance, or two primary entrances (one for each street frontage).
- Front doors / primary building access should be from adjacent sidewalks.
- Service and loading areas should be oriented to the back of the building, away from sidewalks / streets.
- Buildings may be set back from the sidewalk in order to accommodate outdoor dining, expanded sidewalks / streetscape, or other activation elements.



SEC 3.1.1.4 | HISTORIC DOWNTOWN CMU TRANSPARENCY & WINDOWS

The existing commercial buildings within the Downtown Core district exhibit high levels of transparency on ground floors, with numerous upper floor windows that complement the scale and design of the overall building. Transparency & window guidelines are below:

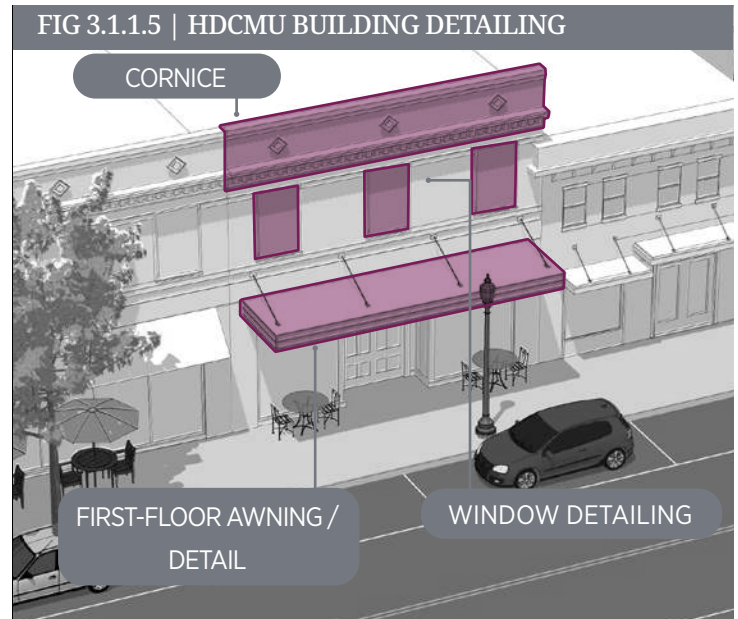
- Ground floors should be highly transparent. This includes both large windows and glass entryways.
- The sole use of “storefront” glass systems will be evaluated on a case-by-case basis.
- Operable ground floor and upper floor windows are encouraged to increase interaction between the street and uses within the building.
- Upper floor windows should be scaled and arranged in a manner that complements the ground floor and reflects the pedestrian scale of the building.



SEC 3.1.1.5 | HISTORIC DOWNTOWN CMU BUILDING DETAILS

New construction should feature a high level of detail that reflects the importance of the district and complements the details present in existing buildings. Building detail guidelines are below:

- Architectural features should be included along all streets / sidewalks.
- The ground floor should include detailing such as varying trim or materials around windows and doors.
- Primary entrances are encouraged to be recessed to add dimension to the building face and should be clearly defined.
- Upper floor windows should feature detailing, including differing materials, colors, and textures.
- Parapet and building corner details should be included to add visual interest and complement the existing buildings in the district.



SEC 3.1.1.6 | HISTORIC DOWNTOWN CMU MATERIALS

The overall preference is for exterior finishes that have proven the test of time and are durable. These generally include stone and masonry materials or cladding systems that perform well throughout the changing seasons of Central Ohio. CMU building material guidelines are below:

- Primary building facade materials are encouraged to be a stone or masonry product.
- Modern cladding / finishing systems that complement and mirror the performance of existing natural materials in the district are encouraged.
- Glass facades and cladding systems will be considered on a case-by-case basis.
- Wood-based materials may be used to add detailing to the building.
- The use of vinyl or foam products for siding or building details is prohibited.
- The painting of existing brick or stone is strongly discouraged.



SEC 3.1.1.7 | HISTORIC DOWNTOWN CMU COLOR PALETTE

Given the preference for natural materials as primary facade materials, the color guidelines below reflect the desire for a neutral base color scheme for downtown. Color palette guidelines are below:

- The preference is a two-color scheme when utilizing paint. Three-color schemes may be approved depending on overall building design, details, materials, etc.
- The primary color of the building should be of a “neutral” tone that reflects the materials and existing palettes used in adjacent buildings.
- Accent colors can be more vibrant colors as illustrated below, but should be used as accent only, not an additional primary color.

SEC 3.1.1.8 | HISTORIC DOWNTOWN CMU ACCEPTABLE COLORS

Within the HD CMU subdistrict, the Benjamin Moore Historical Colors palette should be used as a guide. There are more than 150 different colors in this collection that can be used to determine primary and accent colors. Similar colors from other brands may be proposed, but should mimic the colors in the historic color palette referenced above.

The [Benjamin Moore Historical Colors](#) palette website illustrates all of the colors within the collection, and provides guidance for complementary accent colors. A small sample of the variety of colors in the historic collection is below, and are representative only.



3.1.2 | RESIDENTIAL SITES

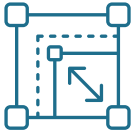
SEC 3.1.2.1 | HISTORIC DOWNTOWN RESIDENTIAL SITE COMPOSITION

The building and site elements below should be included to the greatest extent feasible when repair, renovation, or new construction occurs within this subdistrict. General guidelines for building and site composition elements are below.



1. USE & FORM | SUPPORT NEIGHBORHOOD CHARACTER

- Historic character – Renovations should highlight and restore historic character. New structures should be designed in a style that is appropriate for the existing context of surrounding structures and enhances overall character of the street.
- Neighborhood focus – the predominant use should be residential, primarily detached single-family or multifamily units that appear as single-family structures.



2. ORIENTATION & SCALE | PRESERVE EXISTING CHARACTER

- Embrace the street – Front doors and porches should face the street. Connecting the street to homes is important for creating a sense of community.
- Maintain neighborhood scale – New homes should maintain the same proportions on the lot as surrounding homes. Building heights should be consistent with neighboring properties and consistent with the overall architectural style of the proposed home.



3. WALKABILITY & TRANSPARENCY | CREATE FRIENDLY NEIGHBORHOOD STREETS

- Support pedestrians – Provide sidewalks where not present. Where possible, include trees near the sidewalk to provide shade.
- Transparency – Facades facing the street should have numerous windows to connect the homes to the street. Front porches that allow for swings / furniture help promote social connections.



4. SITE & BUILDING DETAILS | RESTORE AND PRESERVE STYLE

- Quality Materials – Whether renovations or new construction, materials used should be of lasting quality. This includes using stone, masonry products, or other products that mirror the quality of the original materials.
- Restore history – Alterations and renovations should heavily focus on restoring original details or replacing missing details from buildings.



5. ACCESS & PARKING | CONNECTIONS FOR PEOPLE AND VEHICLES

- Parking and driveways – Garages should be located behind homes and views of garage doors minimized. Garages and driveways should be a secondary focus of the site, allowing the design of the home to add to the character of the street.
- Connect to the street – Sidewalk connections between front porches and adjacent sidewalks should be included.

FIG 3.1.2.1 | HISTORIC DOWNTOWN (HD) RESIDENTIAL SITES - COMPOSITION BIRDSEYE VIEW

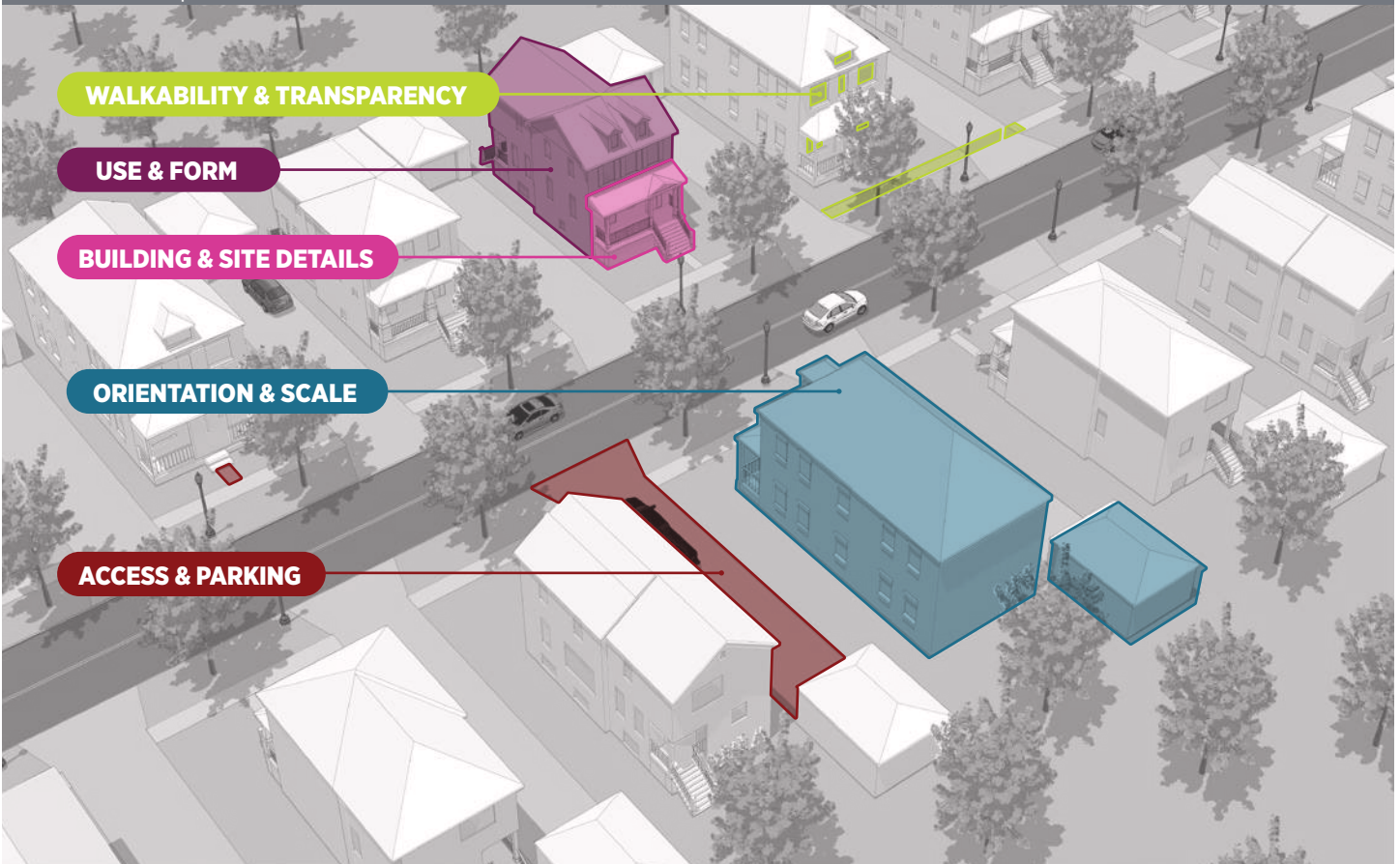
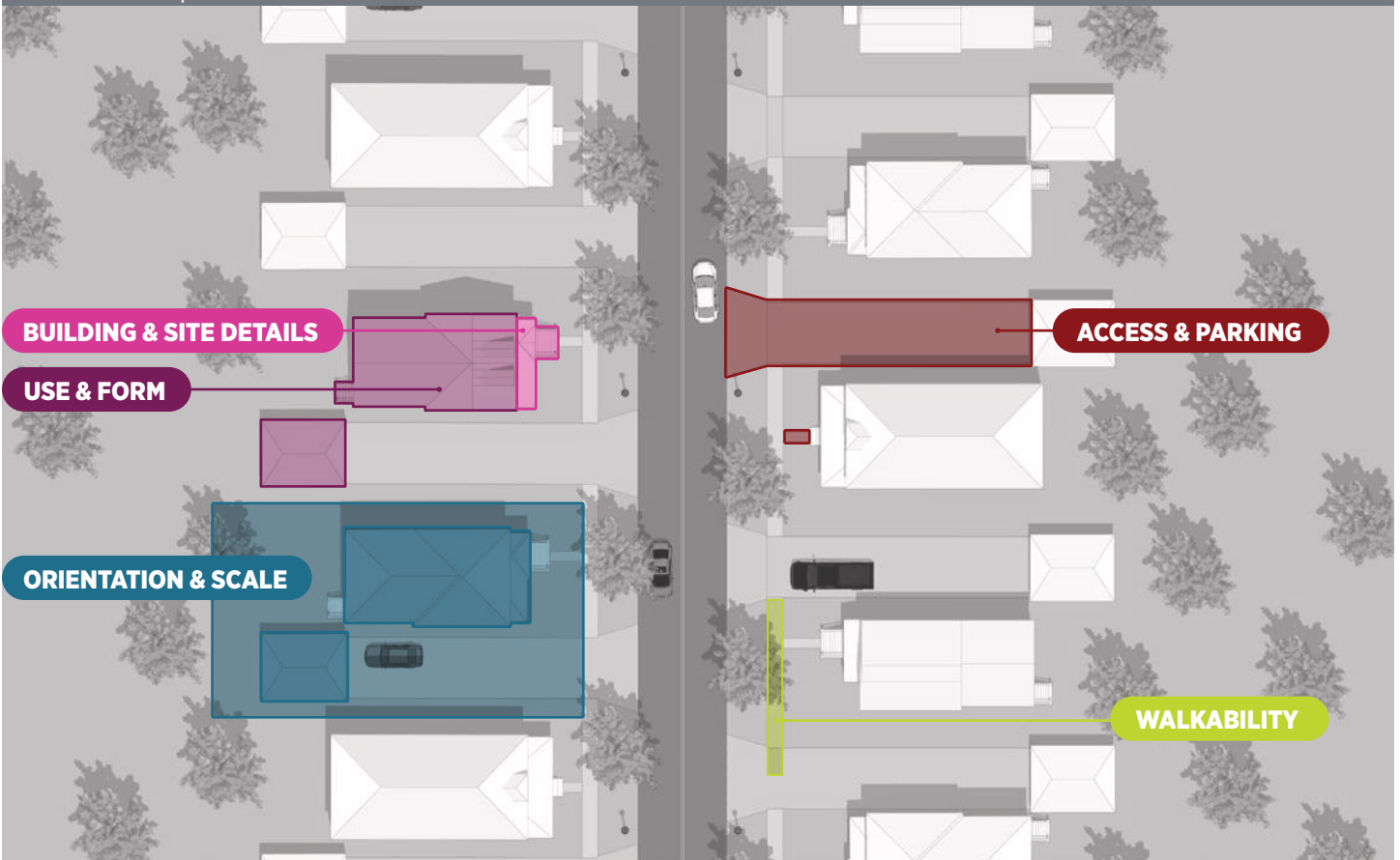


FIG 3.1.2.2 | HD RESIDENTIAL SITES - COMPOSITION PLAN VIEW



SEC 3.1.2.2 | HISTORIC DOWNTOWN RESIDENTIAL SCALE

Within downtown, the scale of residential streets is reflective of the historic nature of downtown. Homes are generally two floors, with some featuring finished attic spaces creating a third floor. The structures on these lots allow for moderate setbacks, driveways to access rear garages, and the homes are proportional to the lots on which they were constructed (height and width). The photos at the bottom of the page provide additional reference as to the desired scale in the Downtown Residential subdistrict. Downtown Residential scale-related guidelines are below:

- Scale for residential properties is as much about proportion as height. Home design should be proportional to the width of the lot and complement the height of nearby homes.
- The scale of new construction should reflect the overall architectural style of the proposed structure.
- Additions should be of appropriate scale to maintain the existing architectural style and, where possible, enhance the overall architectural style of the building.
- In addition to overall scale of the structure, elements such as windows, porches, eaves, and similar details should be scaled to create a well-composed home.

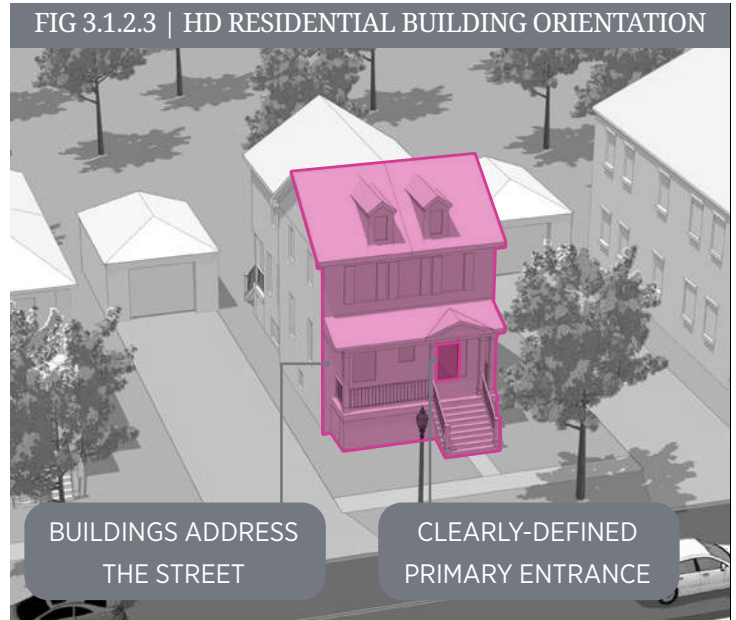
FIG 3.1.2.2 | HISTORIC DOWNTOWN RESIDENTIAL SITES - APPROPRIATE SCALE



SEC 3.1.2.3 | HISTORIC DOWNTOWN RESIDENTIAL BUILDING ORIENTATION

Within the Historic Downtown Residential subdistrict, residences are generally oriented in a traditional neighborhood configuration with front doors nearer the street and driveways connecting rear garages to the street. Residential building orientation guidelines are below:

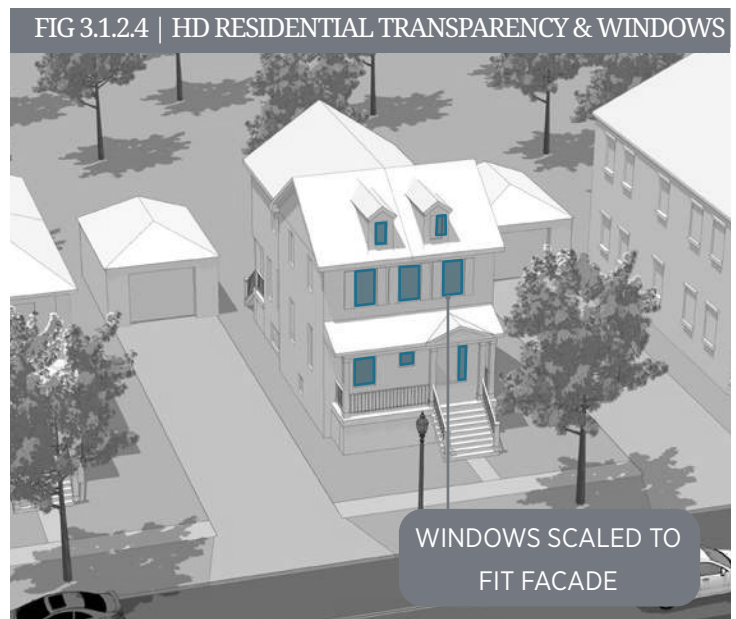
- Buildings should address the street.
- Buildings located on a corner lot should place the front door on the primary frontage, with additional detailing placed on the secondary frontage .
- Front doors / primary building access should be from adjacent sidewalks.
- Garages and vehicular parking areas should be oriented to the back of the building, behind the front facade of the home.
- Buildings should be placed at a similar setback to surrounding structures to maintain a consistent building line along residential streets.



SEC 3.1.2.4 | HISTORIC DOWNTOWN RESIDENTIAL TRANSPARENCY & WINDOWS

Restoring original window openings as alterations occur, and requiring levels of transparency similar to historic structures in new construction will preserve these features across the residential subdistrict. Downtown Residential transparency & window guidelines are below:

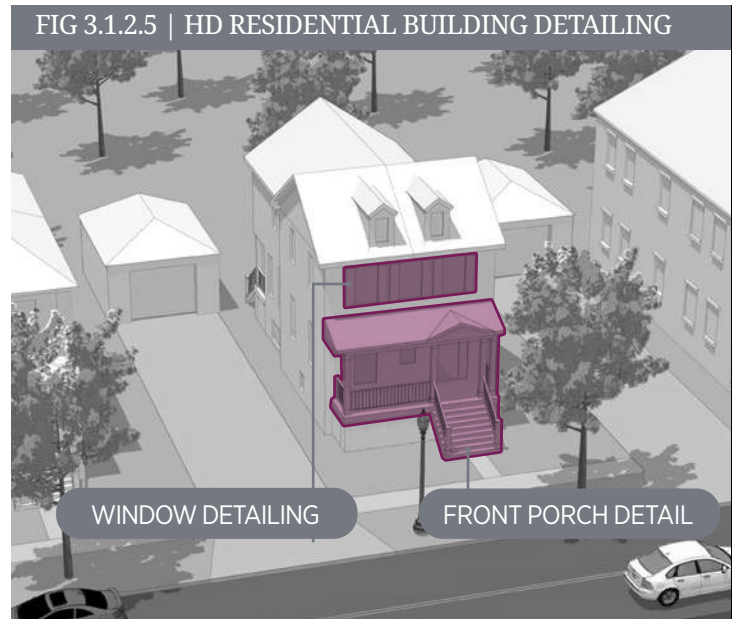
- During renovations / window replacements, the original size and materials should be utilized to maintain original character of the home.
- The style of window should be in harmony with the overall architectural style of the home being constructed or renovated.
- The materials used for new or replacement windows should be consistent with the overall style and color of the overall building.
- Vinyl and fiberglass windows will be considered, but must provide specifications as to finish and durability.
- New construction should include the number and size of windows to mirror historic homes in the subdistrict.



SEC 3.1.2.5 | HISTORIC DOWNTOWN RESIDENTIAL BUILDING DETAILS

New construction should feature high levels of detail and reflect the historic nature of the existing homes. Details should correspond and reflect the underlying architectural style. Building detail guidelines are below:

- Architectural features should be included along all streets / sidewalks.
- The home should include detailing such as varying trim or materials around windows and doors.
- Primary entrances are encouraged to be clearly defined and highlighted by front porches or other facade features.
- Roof and building corner details should be included to add visual interest and complement the existing buildings in the district.
- Renovations / alterations should include period-correct details, and restore any deteriorating building details.



SEC 3.1.2.6 | HISTORIC DOWNTOWN RESIDENTIAL MATERIALS

The preference within the Historic Downtown Residential subdistrict is for materials that perform well throughout the changing seasons of Central Ohio. Historic Downtown Residential building material guidelines are below:

- Preferred exterior finishes and materials include brick, stacked stone, wood or composite siding products.
- Other exterior cladding systems and materials may be considered on a case-by-case basis.
- Roof materials should respond to surrounding context. Preference is for standing seam metal roofs or architecturally- and period-appropriate shingle materials.
- Period-correct materials should be used to replace underperforming exterior finishes or detailing.
- Painting of stone, brick, or vinyl materials is prohibited.
- The use of vinyl or foam products for siding or building details is highly discouraged.



SEC 3.1.2.7 | HISTORIC DOWNTOWN RESIDENTIAL COLOR PALETTE

Given the preference for natural materials as primary facade materials, the color guidelines below reflect the desire for a neutral base color scheme for downtown. Color guidelines are below:

- The preference is a two-color scheme when utilizing paint. Three-color schemes may be approved depending on overall architectural style, details, materials, etc.
- The primary color of the building should be of a “neutral” tone that reflects the materials and existing palettes used in adjacent buildings.
- Accent colors can be more vibrant colors as illustrated below, but should be used as accent only, not an additional primary color.

SEC 3.1.2.8 | HISTORIC DOWNTOWN RESIDENTIAL ACCEPTABLE COLORS

Within the Residential subdistrict, the Benjamin Moore Historical Colors palette should be used as a guide. There are more than 150 different colors in this collection that can be used to determine primary and accent colors. Similar colors from other brands may be proposed, but should mimic the colors in the historic color palette referenced here.

The [Benjamin Moore Historical Colors](#) palette website illustrates all of the colors within the collection, and provides guidance for complementary accent colors. A small sample of the variety of colors in the historic collection is below, and are representative only.



3.1.3 | DOWNTOWN RESIDENTIAL ARCHITECTURAL PRECEDENTS

Downtown Johnstown’s architectural heritage is deeply tied to its agricultural roots and its role in the late 19th and early 20th century as a commercial hub for surrounding townships. The downtown area evolved organically around its Main Street and the nearby train depot along Track Street, resulting in a compact, grid-like neighborhood pattern extending across several blocks. This extends as far as Jersey Street to the southeast, Edwards Road to the northwest, Williams Street to the southwest, and Track Street to the northeast. Residential structures in downtown primarily reflect modest, traditional Midwestern design trends, with prominent influences from the National, Vernacular Farmhouse, and Craftsman styles. However, downtown also features a rich blend of other architectural elements. This is most evident in Victorian and Queen Anne-inspired gables and spindlework and Craftsman-style porches, featuring exposed rafters and tapered columns, which are often applied to otherwise straightforward National-style or Vernacular Farmhouse structures.

The summary of some common styles on the following pages is intended to provide additional reference materials to the Design Review Board during review of applications for new construction or alterations to existing structures. Where additional guidance is needed in evaluating a request to modify a residential structure in the Downtown Core district, **refer to “A Field Guide to American Houses” by Virginia Savage McAlester** to understand appropriate subtypes, materials, colors, and combinations of styles that complement downtown’s existing collection of architectural styles.



Italianate



National / Folk Victorian



Queen Anne



National / Folk Victorian



Queen Anne

NATIONAL



KEY FEATURES:

- Simple shapes and massing
- Front-facing, or side-gabled roofs
- Hall-and-Parlor is a common sub-type (pictured left)
- One to two floors
- Simple porches, often lacking ornamental brackets or spindlework.

National

Simple, functional homes that were built across the United States throughout the late 19th and early 20th century. They were often built by local builders using traditional methods and readily available materials, with little to no applied ornamentation.

QUEEN ANNE



KEY FEATURES:

- Complex massing, irregular floor plan
- Varied roof lines, with gables and dormers
- Prominent chimneys, often with decorative elements
- Bay or oriel windows, overhangs
- Porches, with either turned posts or more classical columns
- Variety in palette of primary and accent colors

Queen Anne

A popular domestic architectural style at the turn of the century, the Queen Anne is known for its complex massing and often exuberant decoration that mixed Victorian and classical forms.

VERNACULAR FARMHOUSE



KEY FEATURES:

- Clapboard Siding
- Gabled Roof
- Front porch with simple posts
- L-shaped plan is common

Vernacular Farmhouse

Built generally of wood-frame construction, these dwellings often feature gabled roofs and simple design elements. The simplistic style, welcoming front facade, and covered porch reflect the rural character prevalent in Johnstown.

FOLK VICTORIAN



KEY FEATURES:

- Porches with turned posts and spindles
- Shaped hoodmolds (sometimes carved) over windows
- Patterned shingles in gables
- Windows or doors may be paired
- Polygonal bay windows

Folk Victorian

Residential architecture built during the Victorian era could be quite ornate, with fanciful decoration, porches, and bay windows. In the vernacular buildings of the period, though, Victorian elements were often applied to simple forms.

CRAFTSMAN



KEY FEATURES:

- Wide, overhanging eaves
- Exposed eave rafters or knee-brace brackets
- Structure of chimneys exposed
- Windows grouped in twos or threes, often with multiple-paned sash
- Pergola porches, with exposed rafters

Craftsman

The Craftsman movement was promoted in the early 20th century by Gustav Stickley in his magazine, *The Craftsman*. The buildings featured horizontal lines, natural materials, and exposed structural elements such as rafters and knee-brace brackets. In the Craftsman bungalow, the front porch is built into the house rather than added on.

AMERICAN FOUR SQUARE



KEY FEATURES:

- 2 to 2.5 floors
- Boxy shape with low-pitched hipped roof
- Centrally located dormers on front and side
- Broad front porch
- Brick, clapboards or shingles on walls

American Four Square

One of the most common house types in the early 20th century, the American Four Square was the ideal expression of the comfortable and affordable house. Well-suited to small building lots, this type of house was common in Central Ohio.

3.2 | **COMMERCE CORRIDOR**



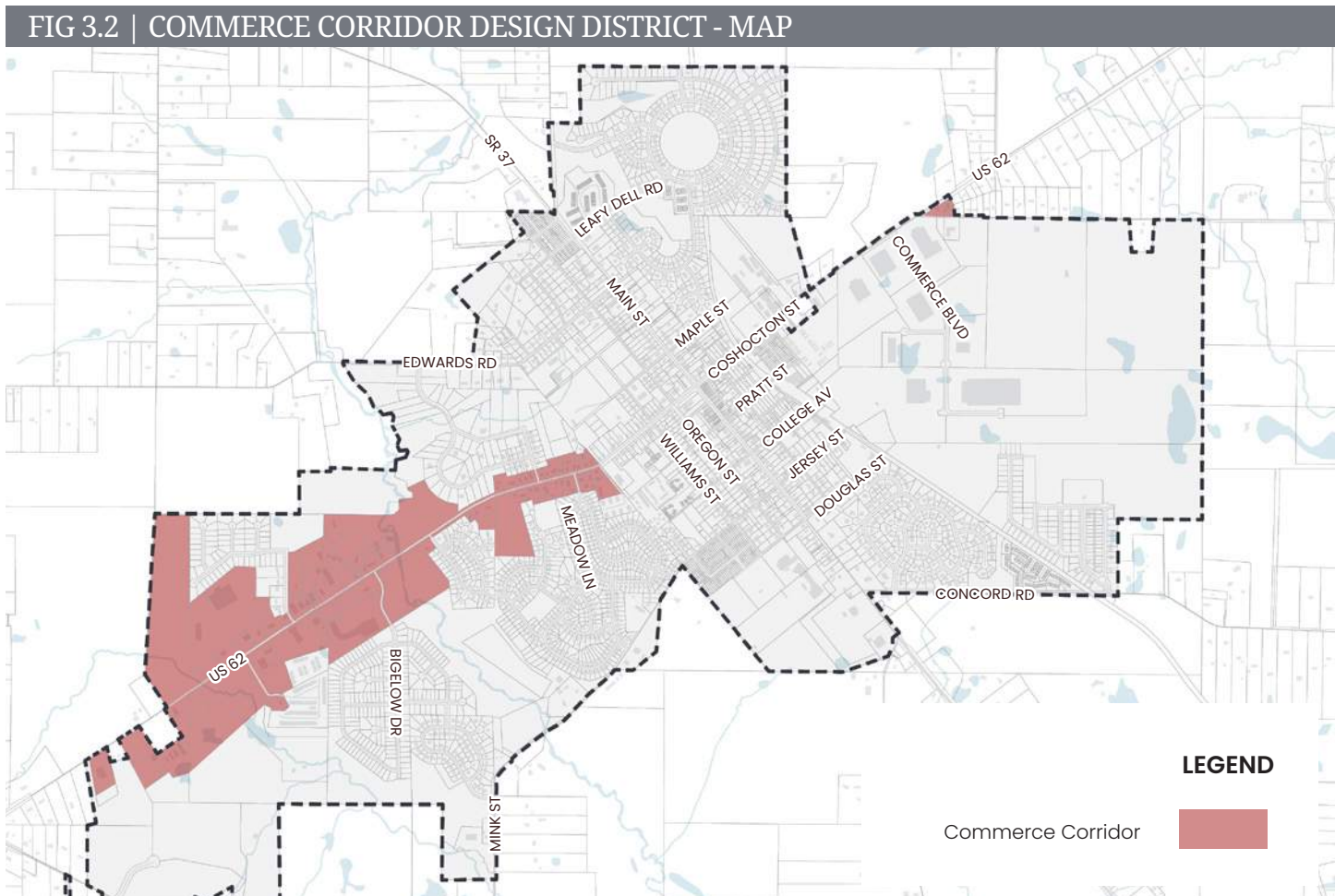


3.2 | COMMERCE CORRIDOR

Throughout the development of these guidelines, the clear consensus is the residents of Johnstown expect welcoming, mixed-use corridors that support pedestrians and automobiles. Careful consideration of overall site details, how uses are arranged, and the blend of uses is key to creating these corridors.

The underlying zoning districts that regulate uses and general site standards for parcels within the Commerce Corridor district—setbacks, lot coverage, minimum lot area, and more—are listed below. These zoning districts are established in Title Five of the Codified Ordinances and should be referenced during reviews by the DRB.

- Ch 1143 | Suburban Residential (SR-1)
- Ch 1147 | Urban Residential Low Density (UR-1)
- Ch 1151 | Multiple-Family Residential (AR-1)
- Ch 1155 | General Community Commercial (GCC-1)
- Ch 1157 | General Community Commercial (GCC-2)
- Ch 1159 | Light Manufacturing (LM)
- Ch 1169 | Village Commercial (VIL COM)



SEC 3.2.1 | COMMERCE CORRIDOR INSPIRATION

A key focus of this design district is ensuring that new development creates an environment that balances access by pedestrians and automobiles with buildings that support contemporary uses. The photos below offer inspiration for future development.



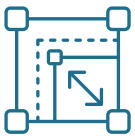
SEC 3.2.2 | COMMERCE CORRIDOR SITE COMPOSITION

Consideration of primary circulation routes and access points, building and front door location, parking areas, and a compatible mix of uses are key to site design within the Commerce Corridor district. This district should provide opportunities for a variety of uses including commercial and residential uses. General guidelines for site composition elements are below.



1. USE & FORM | REDUCE AUTOMOBILE DOMINANCE

- Create frontages - Buildings should reflect the form of downtown, with buildings being located closer to the roadway and parking located behind or beside buildings. Sidewalks provide pedestrian access throughout new developments.
- Mix uses through redevelopment - Continue commercial frontages along the corridor while allowing residential infill behind commercial uses.



2. ORIENTATION & SCALE | MAINTAIN CONSISTENT SCALE

- Create "streets" - Use primary circulation routes as internal streets, with buildings located close to the street with sidewalk access and landscaped tree lawns.
- Scale to the community - Single-floor commercial up to three-floor residential buildings are preferred. Any three-floor buildings should be located behind smaller buildings along the corridor to maintain scale along corridor frontages.



3. WALKABILITY & TRANSPARENCY | CREATE WALKABLE CLUSTERS

- Support pedestrians - Consolidation of commercial uses into walkable nodes supported by sidewalks from adjacent residential development is the preferred use arrangement. Service and loading areas should be located and screened to minimize appearance.
- Transparency - Primary facades along streets should be highly transparent with large windows. Primary entrances should be highly visible.



4. SITE & BUILDING DETAILS | CONTINUE CHARACTER FROM THE CORE

- Quality materials - Whether renovations or new construction, materials used should be of lasting quality. This includes using stone and masonry products as primary facade materials accented by glass, metal, or complementary stone details.
- Continue Johnstown character - Use landscaping to define streets, screen parking areas from view, and restore tree canopy along the corridor.



5. ACCESS & PARKING | SUPPORTING PEDESTRIANS AND VEHICLES

- Balance access - Consolidate and minimize curb-cuts. Create new "streets" that include clearly delineated vehicular and pedestrian routes throughout development.
- Parking and driveways - Driveways and parking areas should be consolidated as much as possible. Use on-street parking within the site to provide buffers for sidewalks and convenience parking for visitors.

FIG 3.2.2 | COMMERCE CORRIDOR - COMPOSITION BIRDSEYE VIEW

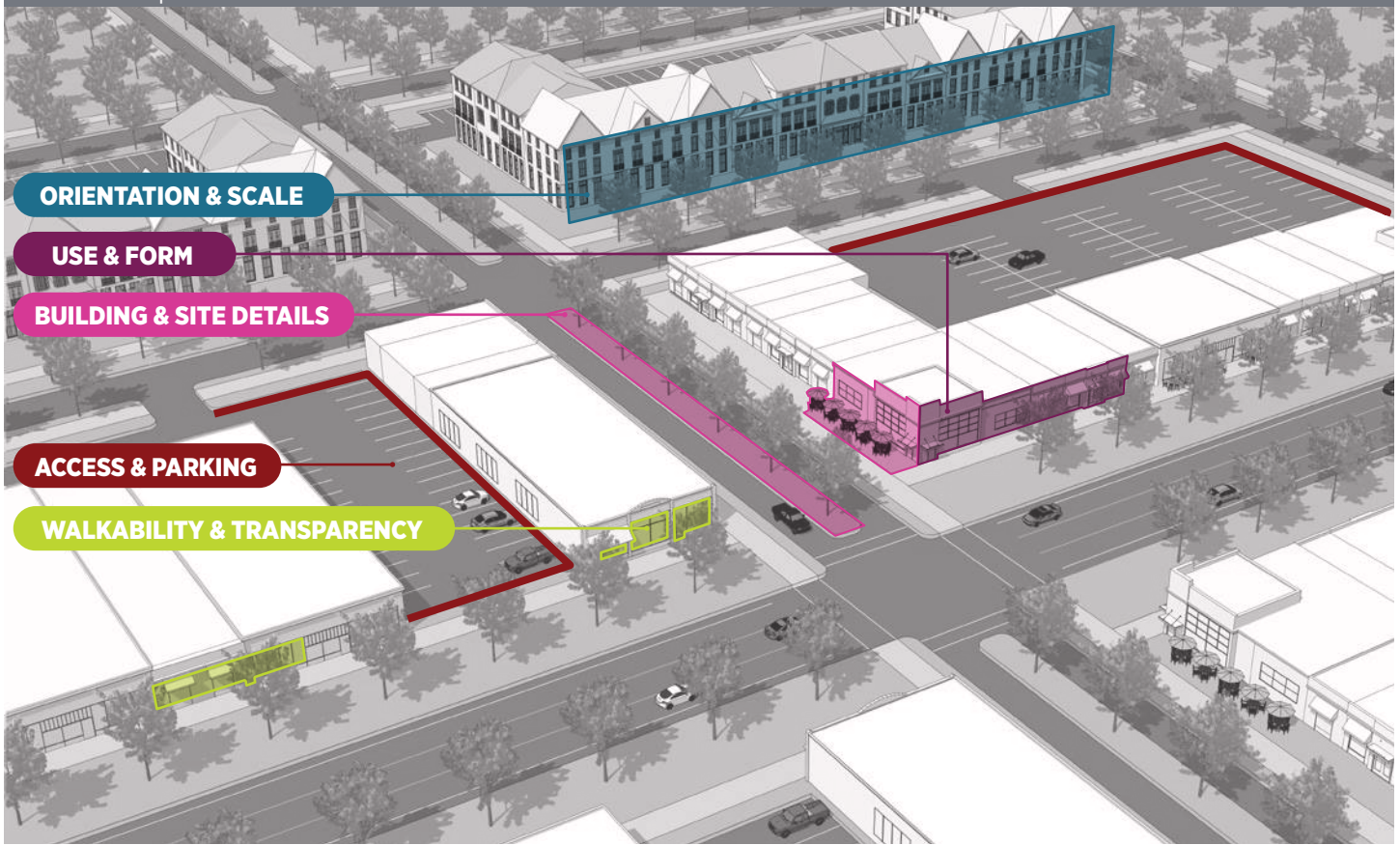
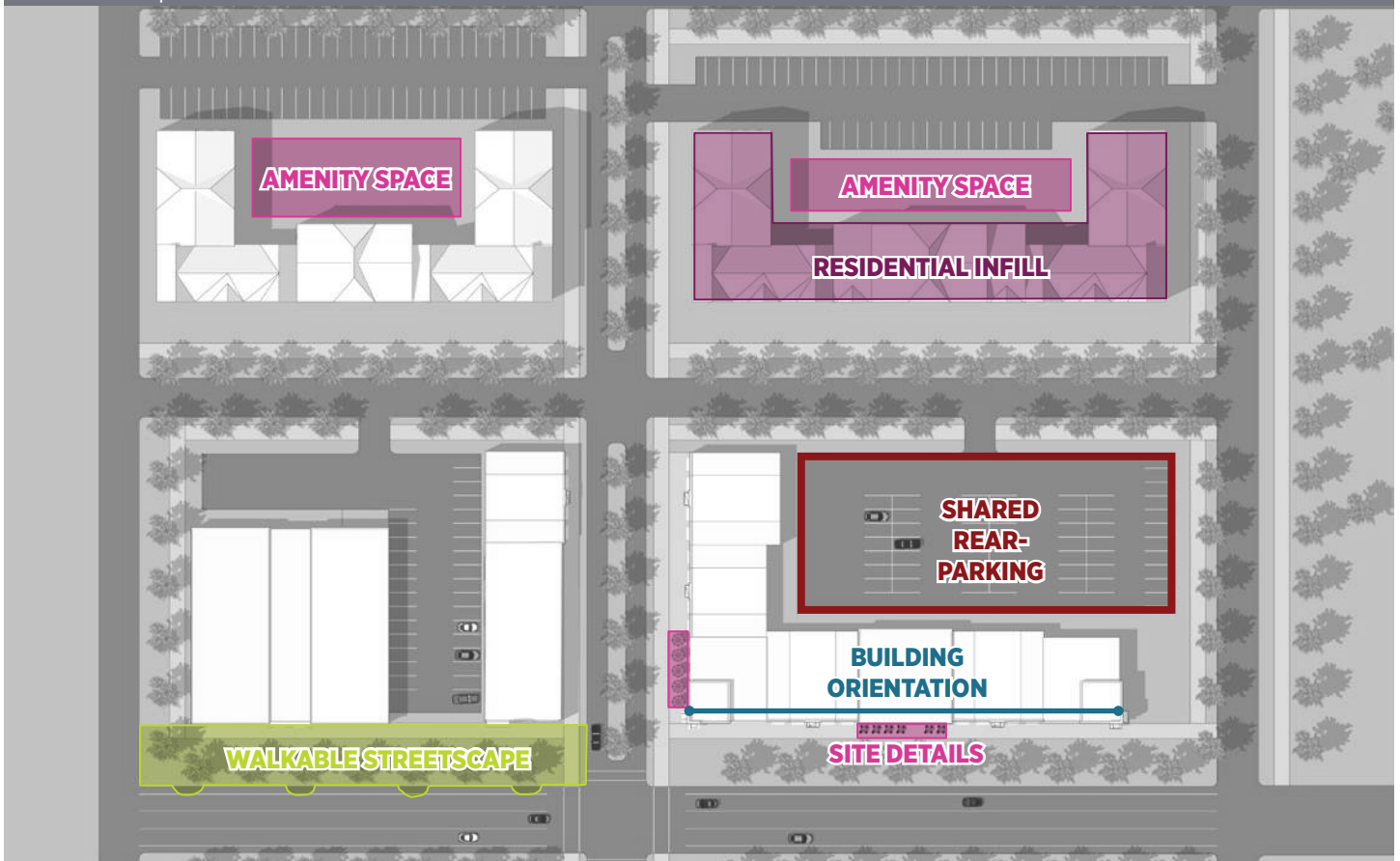


FIG 3.2.3 | COMMERCE CORRIDOR - COMPOSITION PLAN VIEW



SEC 3.2.3 | COMMERCE CORRIDOR SCALE

Along corridor frontages, one or two floor buildings are preferred. Three floors may be permitted within the district, but screening and transitioning height will be key considerations during review. The photos at the bottom of the page provide reference to what is an appropriate scale within the Commerce Corridor subdistrict. Commerce Corridor scale-related guidelines are below:

- Maintaining a pedestrian scale is a primary focus of this district. Within Johnstown, this scale reflects one to three floor buildings within the Commerce Corridor district.
- The preference for new construction is one or two floors along the US-62 frontage. Up to three floors may be permitted further from the corridor frontage if there is consideration given to transition of height and surrounding context during the design process.
- The scale of building facades should reflect those of downtown with front doors repeating at a cadence that supports pedestrian access and walkability.

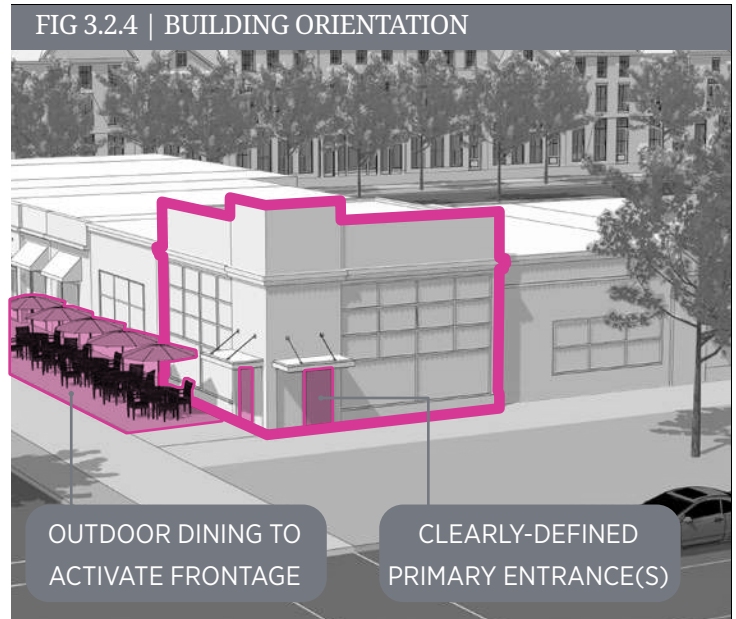
FIG 3.2.3 | COMMERCE CORRIDOR - APPROPRIATE SCALE



SEC 3.2.4 | COMMERCE CORRIDOR BUILDING ORIENTATION

Building orientation has a major impact on overall site function. Consideration should be given to both pedestrians and automobiles. Commerce Corridor building orientation guidelines are below:

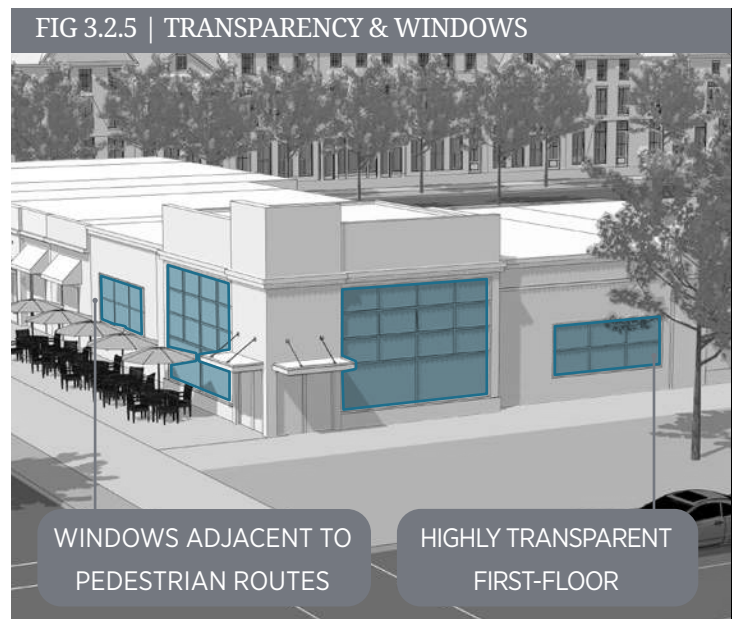
- Buildings should be oriented to place the front of the building near the sidewalk / street.
- Buildings located on a corner of two streets may provide a corner entrance, or two primary entrances (one for each street frontage).
- Front doors / primary building access should be easily accessible from adjacent sidewalks.
- Service and loading areas should be oriented to the back of the building, and screened from adjacent streets and sidewalks.
- Uses such as outdoor dining are encouraged between the sidewalk and front door of the building.



SEC 3.2.5 | COMMERCE CORRIDOR TRANSPARENCY & WINDOWS

Similar to downtown, buildings within this district should include large windows and high levels of transparency. Commerce Corridor transparency & window guidelines are below:

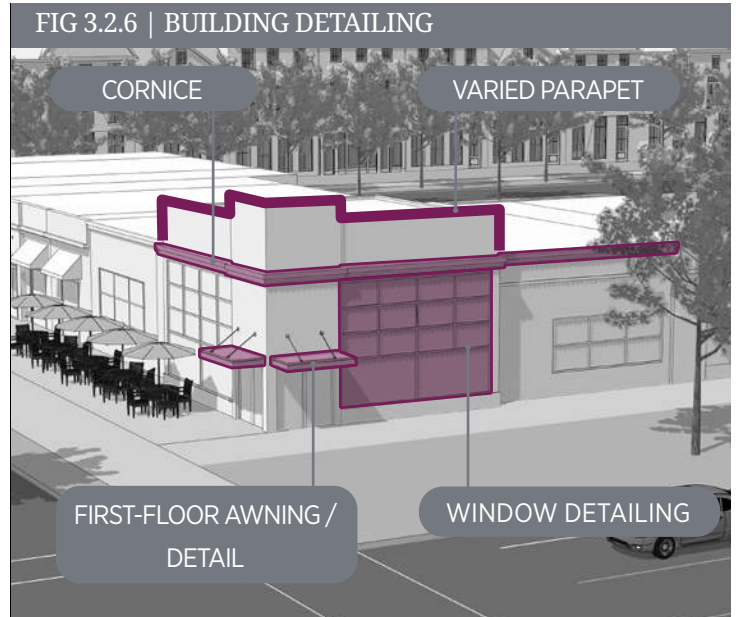
- Ground floors should be highly transparent along the street and sidewalks. This includes both windows and well-defined entryways.
- Upper floor windows should be scaled and arranged in a manner that complements the ground floor and reflects the pedestrian scale of the building.
- Large “storefront” glass systems may be utilized along with other exterior cladding systems and will be considered on a case-by-case basis.



SEC 3.2.6 | COMMERCE CORRIDOR BUILDING DETAILS

New development within the Commerce Corridor should avoid corporate architecture in favor of timeless building design. Commerce Corridor detail guidelines are below:

- Architectural features should be included along all streets / sidewalks.
- The ground floor should include detailing such as varying trim or materials around windows and doors.
- Primary entrances are encouraged to be recessed or feature an awning / canopy to add dimension to the building face and should be clearly defined.
- Upper floor windows should feature detailing, including differing materials, colors, and textures.
- Parapet and building corner details should be included to add visual interest.



SEC 3.2.7 | COMMERCE CORRIDOR MATERIALS

The general preference is for long-lasting materials that perform well throughout the changing seasons of Central Ohio. Commerce Corridor material guidelines are below:

- Primary building facade materials are encouraged to be a stone or masonry product.
- Modern cladding / finishing systems that complement and mirror the performance of preferred natural materials are encouraged.
- Glass facades and cladding systems may be utilized, but will be considered on a case-by-case basis.
- Wood-based materials may be used to add detailing to the building.
- The use of vinyl or foam products for siding or building details is strongly discouraged.
- The painting of existing brick or stone is strongly discouraged.



SEC 3.2.8 | **COMMERCE CORRIDOR COLOR PALETTE**

Given the preference for natural materials as primary facade materials, the color guidelines below reflect the desire for a neutral base color scheme for the Commerce Corridor district. Color guidelines are below:

- The preference is a two-color scheme when utilizing paint.
- The primary color of the building should be of a “neutral” tone that reflects the materials and existing palettes used in adjacent buildings.
- Accent colors can be more vibrant colors as illustrated below, but should be used as accent only, not an additional primary color.

SEC 3.2.9 | **COMMERCE CORRIDOR ACCEPTABLE COLORS**

Within the Commerce Corridor district, the Benjamin Moore Color Stories palette should be used as a guide. There are more than 200 different colors in this collection that can be used to determine primary and accent colors. Similar colors from other brands may be proposed, but should mimic the colors in the Color Stories palette referenced above.

The [Benjamin Moore Color Stories](#) palette website illustrates all of the colors within the collection, and provides guidance for complementary accent colors. A small sample of the variety of colors in the color stories collection is below, and are representative only.



3.3 | NEIGHBORHOOD





3.3 | NEIGHBORHOOD

Throughout the development of these guidelines, the clear consensus is the residents of Johnstown desire thoughtfully designed, welcoming neighborhoods. Careful consideration of overall street and lot arrangement, home design, and provision and location of amenities will ensure the long-term viability of new neighborhoods within Johnstown.

The underlying zoning districts that regulate uses and general site standards for parcels within the Neighborhood district—setbacks, lot coverage, minimum lot area, and more—are listed below. These zoning districts are established in Title Five of the Codified Ordinances and should be referenced during reviews by the DRB.

Ch 1143 | Suburban Residential (SR-1)

Ch 1155 | General Community Commercial (GCC-1)

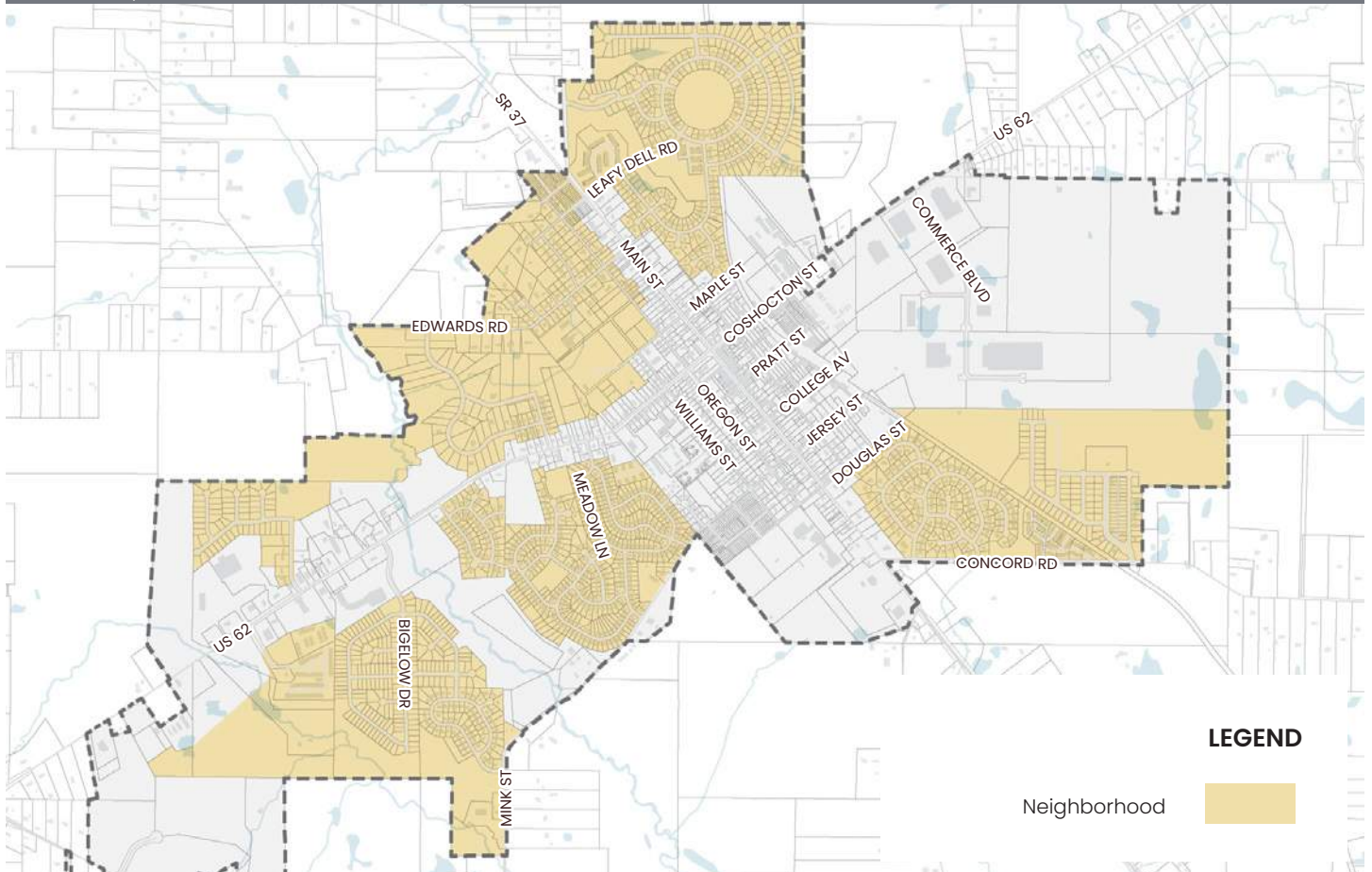
Ch 1147 | Urban Residential Low Density (UR-1)

Ch 1167 | Village Center (VC)

Ch 1149 | Urban Residential Moderate Density (UR-2)

Ch 1151 | Multiple-Family Residential (AR-1)

FIG 3.3 | NEIGHBORHOOD DESIGN DISTRICT - MAP



SEC 3.3.1 | REVIEW PROCEDURE

The goal of the review of proposed neighborhoods is to determine optimal street alignments, lot arrangements, and establish an acceptable architectural package for street-facing facades. The role of the DRB is to adopt the neighborhood plan and architecture package, with city staff responsible for formal site plan review and individual home permit review for compliance with the adopted plans. Deviations from adopted plans will be subject to review by the DRB prior to implementation. See Chapter 1187 - Design Review Administration and Regulations of the City's Codified Ordinances for further description of the procedures for review.

SEC 3.3.2 | NEIGHBORHOOD INSPIRATION

A key focus of this design district is ensuring that future residential neighborhoods continue the established design character of Johnstown. Preferred design is one that prioritizes the home over the automobile. The photos below offer inspiration for future development.



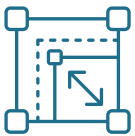
SEC 3.3.3 | NEIGHBORHOOD SITE COMPOSITION

Neighborhoods in Johnstown should be welcoming and family-friendly. Neighborhoods should feature well-connected sidewalks, open spaces and community amenities, and exhibit the same quality of materials expected in the other design review districts. General guidelines for site composition elements within the Neighborhood district are below.



1. USE & FORM | TRADITIONAL CHARACTER WITH MODERN AMENITIES

- Single-family is typical - Detached single-family residences are the primary use within the district.
- Create connections - Buildings should be placed close to the street in line with required setbacks in the applicable zoning district. Front porches / primary entries should be the focus from the sidewalk with garages and driveways arranged to minimize appearance.



2. ORIENTATION & SCALE | SCALE CONSISTENT WITH LOT SIZES

- Welcoming front doors - Primary entrances, porches, and larger windows should face the street and be the focus of the view from the sidewalk.
- Match scale of home and lot - The scale of the homes should be proportional to the lots within the neighborhood. Designs with two or more floors should utilize breaks in the facade to add visual interest and align the scale of the building with the width of the lot.



3. WALKABILITY & TRANSPARENCY | CREATE ACTIVE NEIGHBORHOODS

- Support pedestrians - Sidewalks should be provided on both sides of the street. Intersections should be designed with clearly defined crosswalks and clear sight-lines.
- Transparency - Homes should include windows that are located and scaled to match the overall design of the building. Building design should include large first floor windows and should feature windows along all street-facing facades.



4. SITE & BUILDING DETAILS | EXHIBIT QUALITY IN DESIGN AND DETAILS

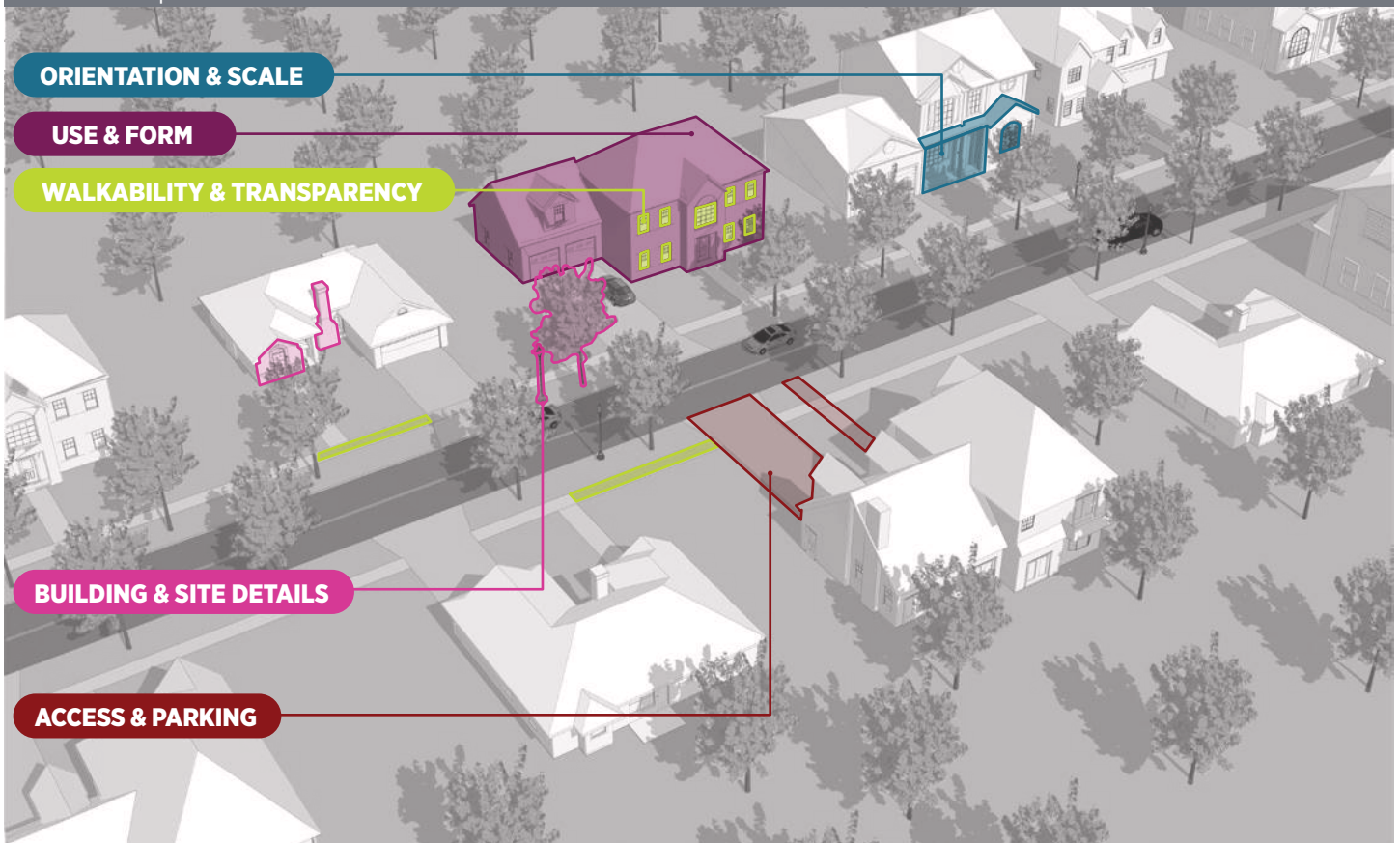
- Quality materials - Whether renovations or new construction, materials used should be of lasting quality. This includes using stone and masonry products as primary facade materials accented by siding or complementary stone details.
- Leverage landscaping - Use landscape features to define neighborhood entries and in common open space / amenity areas.



5. ACCESS & PARKING | ACCOMMODATING VEHICLES IN PEDESTRIAN FRIENDLY WAYS

- Balance access - Preference for single-car driveway widths that connect side or rear garages. Alleys are encouraged where networks exist or can be expanded.
- Multiple connections encouraged - New neighborhoods should utilize multiple roadway connections. New streets using existing roadway stub-outs in neighboring development is highly encouraged when designing new subdivisions.

FIG 3.3.1 | NEIGHBORHOOD - COMPOSITION BIRDSEYE VIEW



SEC 3.3.4 | NEIGHBORHOOD COLOR PALETTE

The preferred colors for the Neighborhood district is the Benjamin Moore Color Stories palette, highlighted below. Other brands of paint may be utilized, but should match the colors in the collection referenced above. The colors below are suggested starting points when determining the primary color of a structure.

- The preference is a two-color scheme when utilizing paint. Three-color schemes may be approved depending on overall building design, details, materials, etc.
- The primary color of the building should be of a “neutral” tone with complementary accent colors, as illustrated below.



SEC 3.3.5 | NEIGHBORHOOD BUILDING ORIENTATION

Within the Neighborhood district, homes should share similar setbacks and be located closer to the street in line with applicable setbacks of the underlying zoning district. Neighborhood building orientation guidelines are below:

- Buildings should be located close to the street.
- Buildings located on a corner lot should place the front door on the primary frontage, with additional detailing placed on the secondary frontage.
- Front doors / primary building access should be from adjacent sidewalks.
- Garages and vehicular parking areas should be oriented to the back of the building, away from sidewalks / streets.
- Buildings should be placed at a similar setback to surrounding structures to maintain a consistent character along neighborhood streets.



SEC 3.3.6 | NEIGHBORHOOD TRANSPARENCY & WINDOWS

Within the Neighborhood district, windows should respond to the overall architectural style and complement the features and style of the home. Neighborhood transparency & window guidelines are below:

- During renovations / window replacements, the original size should be utilized to maintain original character of the home.
- The style of new or replacement windows should match the overall architectural style of the home being constructed or renovated.
- The materials used for new or replacement windows should be consistent with the overall style and design of the building.
- New construction is encouraged to include multiple windows in all rooms.



SEC 3.3.7 | NEIGHBORHOOD BUILDING DETAILS

Homes within the Neighborhood district are encouraged to share similar elements—front porches for example—but utilize different details to define the character of each individual home. Building detail guidelines for the Neighborhood district are below:

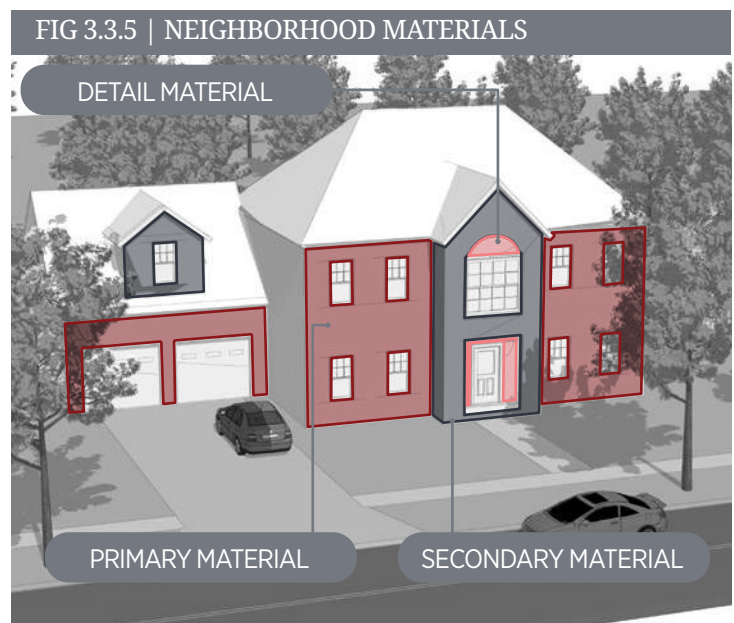
- Architectural features such as columns, cornice details, porches, stairways, and similar should be included on all facades facing a street.
- The home should include detailing such as varying trim or materials around windows and doors.
- Primary entrances are encouraged to be clearly defined and highlighted by front porches or other facade features.
- Roof and building corner details should be included to add visual interest and define overall neighborhood character.
- Renovations / alterations should include period-correct details, and restore any deteriorating building details.



SEC 3.3.8 | NEIGHBORHOOD MATERIALS

The overall preference is for durable, natural materials including stone and masonry materials that perform well throughout the changing seasons of Central Ohio. Neighborhood district building material guidelines are below:

- Preferred exterior finishes and materials include brick, stacked stone, or composite wood siding products.
- Other exterior cladding systems and materials may be considered on a case-by-case basis.
- Roof materials should respond to surrounding context. Preference is for standing seam metal roofs or architectural shingles.
- The use of vinyl or foam products for siding or building details is discouraged.
- All solar panel installations should be arranged so that the panels are not visible from the street on which the home is located.



3.4 | INDUSTRIAL





THE PACKET STORE

PACKET STORE

PACKET STORE

BISHOP
FOR

ND CEMENT
DRAIN TILE
LION FENCE
STS GOAL IC
ETC

H.A. BISHOP

INDUSTRIAL EXHIBIT

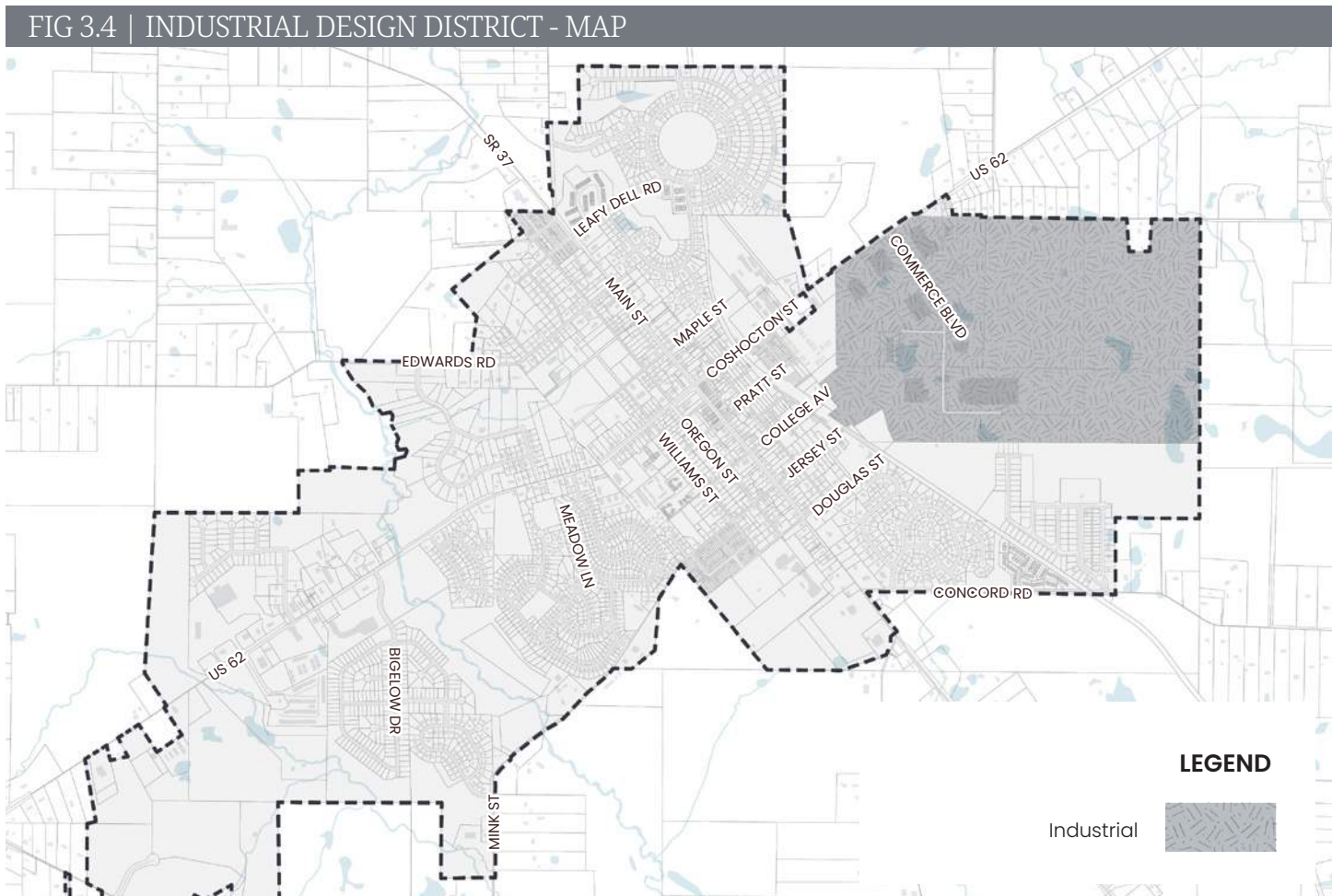
BANK
CITIZENS BANK

3.4 | INDUSTRIAL

Throughout the development of these guidelines, the clear consensus is that industrial areas should match the remainder of Johnstown in terms of aesthetics and design. Careful consideration of overall street and lot arrangement, building design and location, and inclusion of buffering and screening along streets and adjacent developments ensures the long-term viability of new development within the Industrial district of Johnstown.

The underlying Light Manufacturing (LM) zoning district regulates uses and general site standards for parcels within the Employment district—setbacks, lot coverage, minimum lot area, and more. The regulations for the LM zoning district are established in [Chapter 1159 - Light Manufacturing \(LM\) District](#) of the Codified Ordinances and should be referenced during site plan reviews by Johnstown staff.

As noted in Section 3, the standards for this district are adopted into [Chapter 1159 - Light Manufacturing \(LM\) District](#) of the City's Codified Ordinances. This is due to the straightforward nature of the aesthetic goals of the City related to these districts. The primary goal of this district is to focus landscaping between the building and the street, screen outdoor storage areas from adjacent streets, and establish basic building and parking orientation standards.



SEC 3.4.1 | EMPLOYMENT INSPIRATION & DESIGN GUIDANCE

While the underlying zoning allows for light industrial uses, the design of sites should be aesthetically pleasing and accommodate for pedestrians. The photos at the bottom of the page offer inspiration for future development. Basic design guidance for this district includes:

- Locating office functions near the front of sites closer to the street provides visual interest and allows for easier connections to the street.
- Landscaping should be consolidated between the building and parking areas and the street.
- Additional screening should be provided between any uses in the employment district and adjacent residential uses.
- Inclusion of sidewalks supports mid-day mobility and exercise for employees in the district.

